

SECTION 1 | PROJECT SUMMARY

INTRODUCTION

The KGH Foundation (KGHF) was established in 1978 to support the growing demand by local philanthropists to close the gap between the provincial standard and what is possible in the delivery of advanced medical care in the southern interior. Starting in 2016 our office worked with KGHF on the design and through construction on the existing building which opened in the fall of 2019. Since its opening JoeAnna's House has been successfully providing short term accommodation for families in need of a place to stay in Kelowna while family members are in the hospital and provides a 'home away from home' for those individuals.

SITE

The project is sited on the corner lot of Royal Avenue and Abbott Street on what was a parking lot serving Interior Health Authority (IHA) prior to the construction of JoeAnna's House. The site is blessed by its proximity to Okanagan Lake and we are aware that guests and families make use of Strathcona park almost as an extension of the house. The site is also directly beside the Hospital Campus to the east and the Heritage Conservation Area to the north.

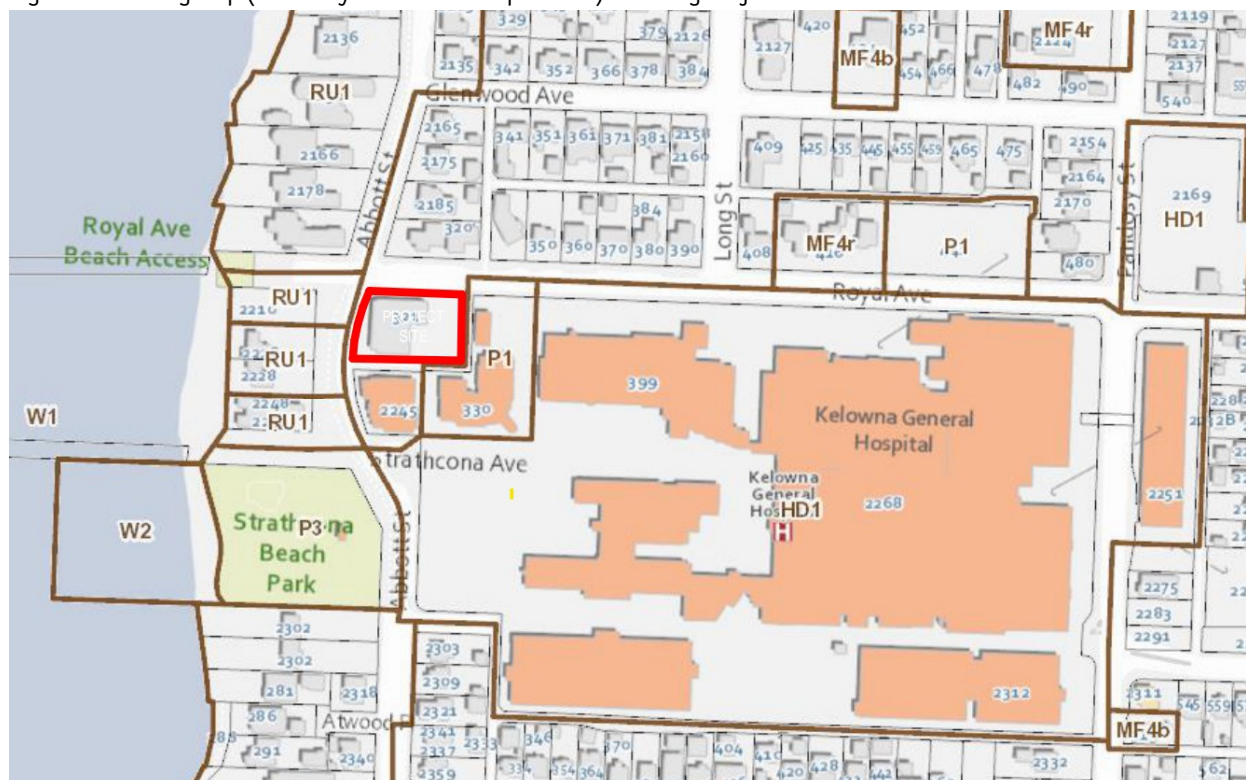
NEIGHBOURS

The neighbour to the south is The Strathcona building which is four storeys and approximately 54 feet in height while the Rotary Lodge to the southeast is 2 storeys and approximately 31 feet in height. The intent behind the Addition project is to create a 'seamless addition' to the existing building which was designed to be compatible with the surrounding neighbourhood in both scale and character as it is 2 storeys and approximately 35 feet in height.

HOSPITAL CONNECTIONS

The primary function of JoeAnna's House is to allow families to be close to loved ones who are in the hospital therefore the pedestrian flow to and from the hospital formed a major design consideration in the planning of the Addition. The new eastern entrance is envisioned to provide direct pedestrian access to the sidewalk along the south side of Royal Avenue which leads to the Hospital Buildings.

Figure 1 – Zoning Map (from City of Kelowna Map Viewer) Showing Project Site Boxed in Red



SECTION 1 | PROJECT SUMMARY

BUILDING DESIGN

The goal of KGHF and design team was to have the Addition look like it ‘belonged’ on the street by creating a seamless addition to the existing building. Based on that objective we are proposing an addition that simply extends the form and character of the existing building so that once complete it should be virtually impossible to distinguish the addition from the existing building.

The challenge of the exterior design of the existing JoeAnna’s House building was finding the balance between the new and the old. The opposing forces of these styles and scales provided the opportunity to search for a form and character for JoeAnna’s that would be its own, one that was neither a rectilinear modern institutional building form nor one that borrowed heavily historical homes. Given its function the exterior colours and treatment needed to evoke a sense of optimism and hope and also be rooted back to natural elements. The modern farmhouse style was adopted and approved by KGHF as it addressed all the ambitions of the project’s architecture as it blends old with new, crisp finishes with warm and natural materials.

The bright white board and batten exterior cladding proposed for the majority of the addition’s exterior is intended to reads as both elegant and familiar. The Addition’s walls undulate on the 11’ building grid while the dormers, trimming and wood canopies also work to break up the scale of the form and mirror that of the existing building. The feature stone cladding that is on the feature corners of the existing building is proposed to be applied to only the north elevation of the middle bay of the Addition and provides a visual break in the north elevation and ties the building to the ground through the use of real stone veneer. The windows in this stone-clad wall trimmed out in stained wood and the mechanical unit screen is gray instead of black. Multipaned windows proposed for the Addition are to match directly to the existing building in size and colour and should allow for the exterior to continue to ‘fit’ into the neighbourhood while the large false barn door on the east side and canopies work to provide a strategic break in scale and help provide articulation at grade.

LANDSCAPE & SHARED AMENITIES

The project site design is limited to the front yard on the north elevation of only the Addition, the east side yard, and an improvement to the existing kids play area. The front yard treatment extends that of the existing and is bylaw compliant while the east side yard primarily serves the ramp and sidewalks connecting the Royal Avenue south sidewalk to the new east building entrance. A new gazebo and seating and hardscaped area completed with a planted privacy screen between this area and the parking lot is proposed in the former kids play area.

Figure 2 – Rendering of North Elevation and Northwest Building Corner



SECTION 2 | TRANSPORTATION & PARKING

PARKING STUDY/RATIONALE

KGHF has studied the parking for guests and staff internally and provided the following rationale for City review. Please note that the MF4 zone does not require any parking except for one accessible stall and this study has been done to ensure the proposed reduction of parking stalls (existing 27 stalls – proposed 15 stalls: net loss of 12 stalls) as a result of the Addition is operationally feasible.

STAFF PARKING

There will be three spots designated for staff as our staff work 24 seven and need to be there for security reasons.

TEMPORARY PARKING STALLS/LOADING STALLS

There will be three stalls that will be designated as loading and unloading for guests who are either checking in or checking out. If they are checking in, they will be able to park there for the day until they can move over to the Parkade in the evening when parking is more available.

GUEST STALLS

The expectation will be that not all guests are going to get a parking spot and that some will have to find their own parking. The designated guest stalls will be given out to guests who require them the most, high risk, pregnant women, people with mobility issues, seniors who drive back-and-forth to the hospital each day, or long-term guests, such as parents of a child who is in the adolescence psych unit as these are the people that will be using their cars more regularly.

GUEST USE OF VEHICLES

What we have learned over the past five years is that the majority of our guests do not use their car once they are here. They simply walk back-and-forth to the hospital and many will actually walk up to the grocery store or take a bus. Most of our guests are from very small towns and have never even been to Kelowna so they do not feel comfortable driving.

JOEANNA'S HOUSE ADDITION



321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D., PLAN EPP34913 EXCEPT PLAN EPP53192

ISSUED FOR DEVELOPMENT PERMIT 2025-03-27

ARCHITECTURAL DRAWING LIST

DP-A0.00	COVER SHEET & DRAWING LIST	DP-A3.13	LEVEL 2 FLOOR PLAN
DP-A1.00 SERIES	CODE AND ZONING INFORMATION	DP-A3.14	ROOF PLAN
DP-A1.01	ZONING, CODE REVIEW, LOCATION PLAN	DP-A3.20 SERIES	ENLARGED PLANS
DP-A2.00 SERIES	SITE, SURVEY	DP-A3.22	LEVEL 1 GAZEBO
DP-A2.01	EXISTING SITE PLAN	DP-A4.00 SERIES	BUILDING ELEVATIONS
DP-A2.02	SITE PLAN	DP-A4.01	EXTERIOR ELEVATIONS
DP-A2.03	SURVEY PLAN	DP-A4.02	EXTERIOR ELEVATIONS
DP-A3.00 SERIES	FLOOR PLANS	DP-A4.05	3D VIEWS
DP-A3.02	LEVEL 1 DEMOLITION FLOOR PLAN	DP-A5.00 SERIES	BUILDING SECTIONS
DP-A3.03	LEVEL 2 DEMOLITION FLOOR PLAN	DP-A5.01	BUILDING SECTIONS
DP-A3.04	ROOF DEMOLITION PLAN	DP-A8.00 SERIES	UNIT PLANS
DP-A3.12	LEVEL 1 FLOOR PLAN	DP-A8.01	ENLARGED UNIT PLANS

PROJECT TEAM

OWNER
KELOWNA GENERAL HOSPITAL FOUNDATION
2268 Pandosy St,
Kelowna, BC V1Y 1T2
Darlene Haslock, Director, JoeAnna's House
Telephone: (250) 470-0100
Email: darlene.haslock@interiorhealth.ca

ARCHITECTURE
MEIKLEJOHN ARCHITECTS INC.
233 Bernard Avenue
Kelowna, BC V1Y 6N2
Attention: Stoke Tonne, Architect AIBC, MRAIC
Telephone: (250) 762-3004
Email: stoke@meiklejohn.ca

STRUCTURAL ENGINEERING
ELEMENTAL STRUCTURAL ENGINEERS LTD.
205-347 Leon Avenue
Kelowna, BC V1Y 8Y7
Attention: Michael Naylor, M.Eng., P.Eng
Telephone: (250) 412-6626
Email: mnaylor@elemental-eng.ca

MECHANICAL ENGINEERING
STANTEC CONSULTING
1620 Dickson Ave #400,
Kelowna, BC V1Y 9Y2
Attention: Bryan Burston
Telephone: (250) 863-7829
Email: bryan.burston@stantec.com

ELECTRICAL ENGINEERING
FALCON ENGINEERING
210 - 1715 Dickson Avenue
Kelowna, BC V1Y 9G6
Attention: Loic Letailleur, P.Eng
Telephone: (250) 808-5642
Email: loic.letailleur@falcon.ca

CIVIL ENGINEERING
CTQ CONSULTANTS LTD.
1334 St. Paul St.,
Kelowna, BC V1Y 2E1
Attention: Steve Tobler, P.L. Eng
Telephone: (250) 979-1221
Email: stobler@ctqconsultants.ca

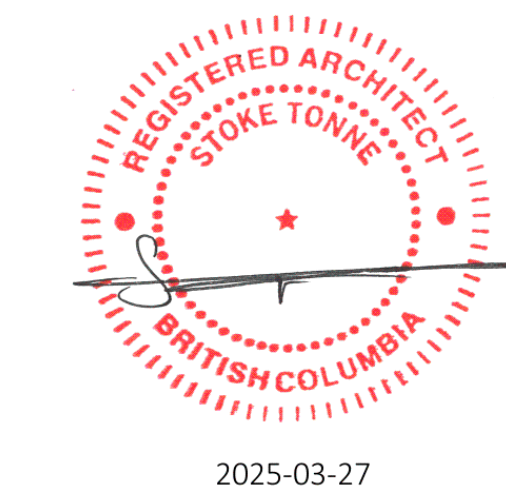
GEOTECHNICAL ENGINEERING
GEOPACIFIC CONSULTANTS LTD.
201 - 1889 Spall Road,
Kelowna, BC V1Y 4R2
Attention: Roberto Avendano, P. Eng
Telephone: (604) 439-0922
Email: avendano@geopacific.ca

LANDSCAPE ENGINEERING
BENCH SITE DESIGN
4 - 1562 Water Street,
Kelowna, BC V1Y 1J7
Attention: Keith Nyhof BCSLA, CSLA
Telephone: (250) 860-6778 x 102
Email: keith@benchsitedesign.com

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kst-mat@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS



Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number Revision

DP-A0.00

Drawing Title

COVER SHEET & DRAWING LIST

Job No.	2002
Scale	
Drawn	BN
Checked	ST

2. SITE SUMMARY						
	ZONING REQUIREMENTS		PROPOSED		BYLAW #	NOTES
SITE DIMENSIONS	(SITE DIMENSION REQS APPLY TO SUBDIVISION ONLY)				Section 13.4	1
SITE AREA	1,400.0 sm min.	15,069 sf min.	2,132.5 sm	22,954 sf		
SITE WIDTH (SIDE TO SIDE)	30	98.4 ft min.	60.4 m	198.2 ft		
SITE DEPTH (FRONT TO REAR)	30	98.4 ft min.	37.0 m	121.3 ft		
SITE COVERAGE					Section 13.5	1
SITE COVERAGE - BLDGS BY AREA	1,386.1 sm max.	14,920 sf max.	877.6 sm	9,446 sf		
SITE COVERAGE - BLDGS BY %	65 MAX %		41%			
SITE COVERAGE - BLDGS & SURFACES BY AREA	1,812.6 sm max.	19,511 sf max.	1,613.3 sm	17,365 sf		
SITE COVERAGE - BLDGS & SURFACES BY %	85 MAX %		76%			
HEIGHT					Section 13.6	1
HEIGHT OF BUILDINGS (m)	22.0 m	72.2 ft	11.5 m	37.9 ft		
HEIGHT (# OF STOREYS)	6 STOREYS		2 STOREYS			
SETBACKS					Section 13.5	1
FRONT YARD - NORTH	3.0 m	9.8 ft	4.7 m	15.3 ft		
FLANKING SIDE YARD - WEST	3.0 m	9.8 ft	5.1 m	16.8 ft		
SIDE YARD - EAST	3.0 m	9.8 ft	3.0 m	9.8 ft		
REAR YARD - SOUTH	3.0 m	9.8 ft	3.0 m	9.8 ft		3

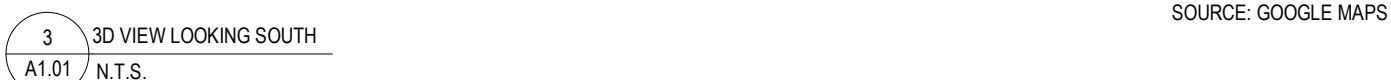
4. FLOOR AREA SUMMARY						
	GROSS AREA		NET AREA (FOR FAR)		NET/GROSS	NOTES
EXISTING LEVEL 1 (SUITES & AMENITY AREAS)	606.5 sm	6,528 sf	93.8 sm	1,010 sf	15.5%	4
EXISTING LEVEL 2 (SUITES)	683.3 sm	7,355 sf	552.5 sm	5,947 sf	80.9%	
NEW LEVEL 1 (SUITES & AMENITY AREAS)	190.1 sm	2,046 sf	149.6 sm	1,610 sf	78.7%	
NEW LEVEL 2 (SUITES)	194.3 sm	2,091 sf	149.6 sm	1,610 sf	77.0%	
NEW & EXISTING LEVEL 1 (SUITES & AMENITY)	796.6 sm	8,574 sf	243.4 sm	2,620 sf	30.6%	
NEW & EXISTING LEVEL 2 (SUITES)	877.6 sm	9,446 sf	702.1 sm	7,557 sf	80.0%	
TOTAL PROPOSED FLOOR AREA (FAR)	1,674.1 sm	18,020 sf	945.5 sm	10,177 sf	56.5%	

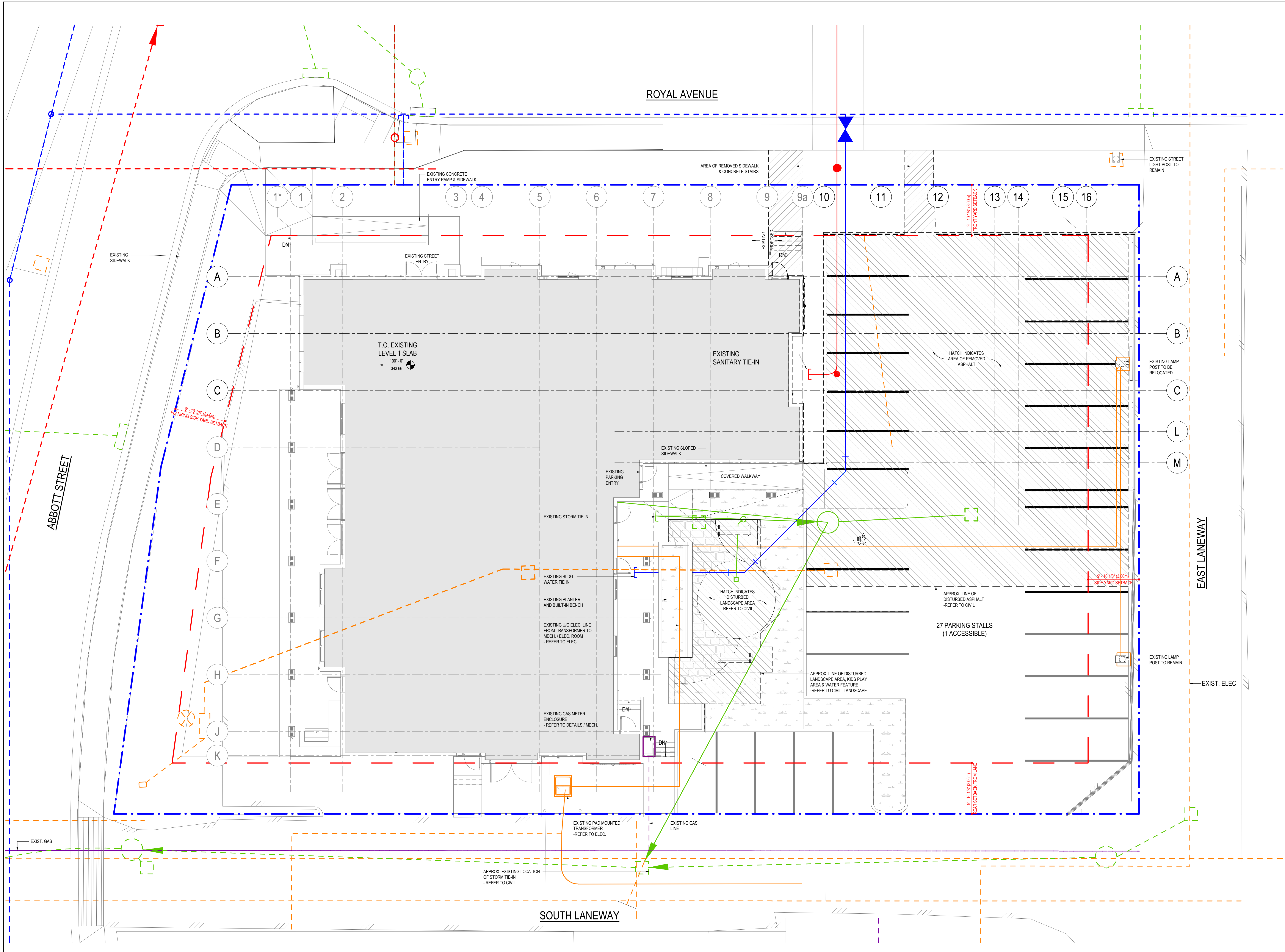
6. VEHICLE PARKING SUMMARY					BYLAW #	NOTES
REQUIRED SPACES SUMMARY						
GUEST SUITES (10-50 SUITES)		NOT APPLICABLE (EXCEPT FOR ACCESSIBLE STALLS) IN MF-4 ZONE		1	Table 8.2.17a	
TOTAL SPACES REQUIRED				1		
ACCESSIBLE SPACES REQ'D		BASED ON # OF SUITES		1	Table 8.2.17a	
ACCESSIBLE VAN SPACES REQ'D		BASED ON # OF SUITES		0	Table 8.2.17a	
PROVIDED SPACES SUMMARY		REGULAR SPACE	MEDIUM CAR SPACE	ACCESSIBLE SPACES		5
LEVEL 1 SURFACE PARKING		8	6	1	15	
TOTAL SPACES PROVIDED					15	

NOTES

- 1. AS PROJECT LOT IS GREATER THAN 2,000SM MF3 ZONING REQUIREMENTS APPLY PER FOOTNOTE 11 OF TABLE 13.5.
- 2. PER BYLAW DEFINITION OF APARTMENT HOUSING USE IT INCLUDES ANY BUILDING CONFIGURED AS CONGREGATE HOUSING OR SUPPORTIVE HOUSING.
- 3. REAR YARD SETBACK REDUCED TO FROM 4.5M TO 3.0M WHEN FACING ONTO A LANE.
- 4. UNIT NET AREA CALCULATED PER: WALLS BETWEEN UNITS: C/L OF WALL, CORRIDOR WALLS: C/L OF WALL, EXT. WALLS: OUTSIDE FACE OF SHEATHING.
- 5. MEDIUM CAR STALLS NOTED FORMED PART OF EXISTING PROJECT AND ARE UNDISTURBED.
- 6. ZONING BYLAW FOR EXISTING BUILDING DID NOT REQUIRE ANY LONG TERM BIKE STALLS - NO NEW STALLS PROVIDED - TO BE REVIEWED WITH CITY POST DP APPLICATION.
- 7. ZONING BYLAW FOR EXISTING BUILDING REQUIRED 5 SHORT TERM BIKE STALLS PER ENTRANCE - NO NEW ENTRANCES OR STALLS ADDED AS PART OF ADDITION.

1. AS PROJECT LOT IS GREATER THAN 2.000MSI MP3 ZONING REQUIREMENTS APPLY PER FOOTNOTE 11 OF TABLE 13.5.
2. PER BYLAW DEFINITION OF APARTMENT HOUSING USE IT INCLUDES ANY BUILDING CONFIGURED AS CONGREGATE HOUSING OR SUPPORTIVE HOUSING.
3. REAR YARD SETBACK REDUCED TO FROM 4.5M TO 3.0M WHEN FACING ONTO A LANE.
4. UNIT NET AREA CALCULATED PER: WALLS BETWEEN UNITS: C/L OF WALL, CORRIDOR WALLS: C/L OF WALL, EXT. WALLS: OUTSIDE FACE OF SHEATHING.
5. MEDIUM CAR STALLS NOTED FORMED PART OF EXISTING PROJECT AND ARE UNDISTURBED.
6. ZONING BYLAW FOR EXISTING BUILDING DID NOT REQUIRE ANY LONG TERM BIKE STALLS - NO NEW STALLS PROVIDED - TO BE REVIEWED WITH CITY POST DP APPLICATION.
7. ZONING BYLAW FOR EXISTING BUILDING REQUIRED 5 SHORT TERM BIKE STALLS PER ENTRANCE - NO NEW ENTRANCES OR STALLS ADDED AS PART OF ADDITION.

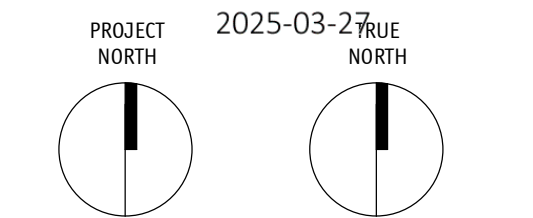
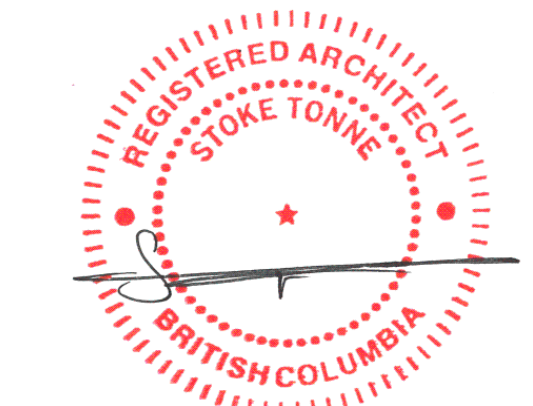




233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the
exclusive property of Meiklejohn Architects Inc. and may not
be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately
report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS



Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION
Revision		
No.	Date	Revision

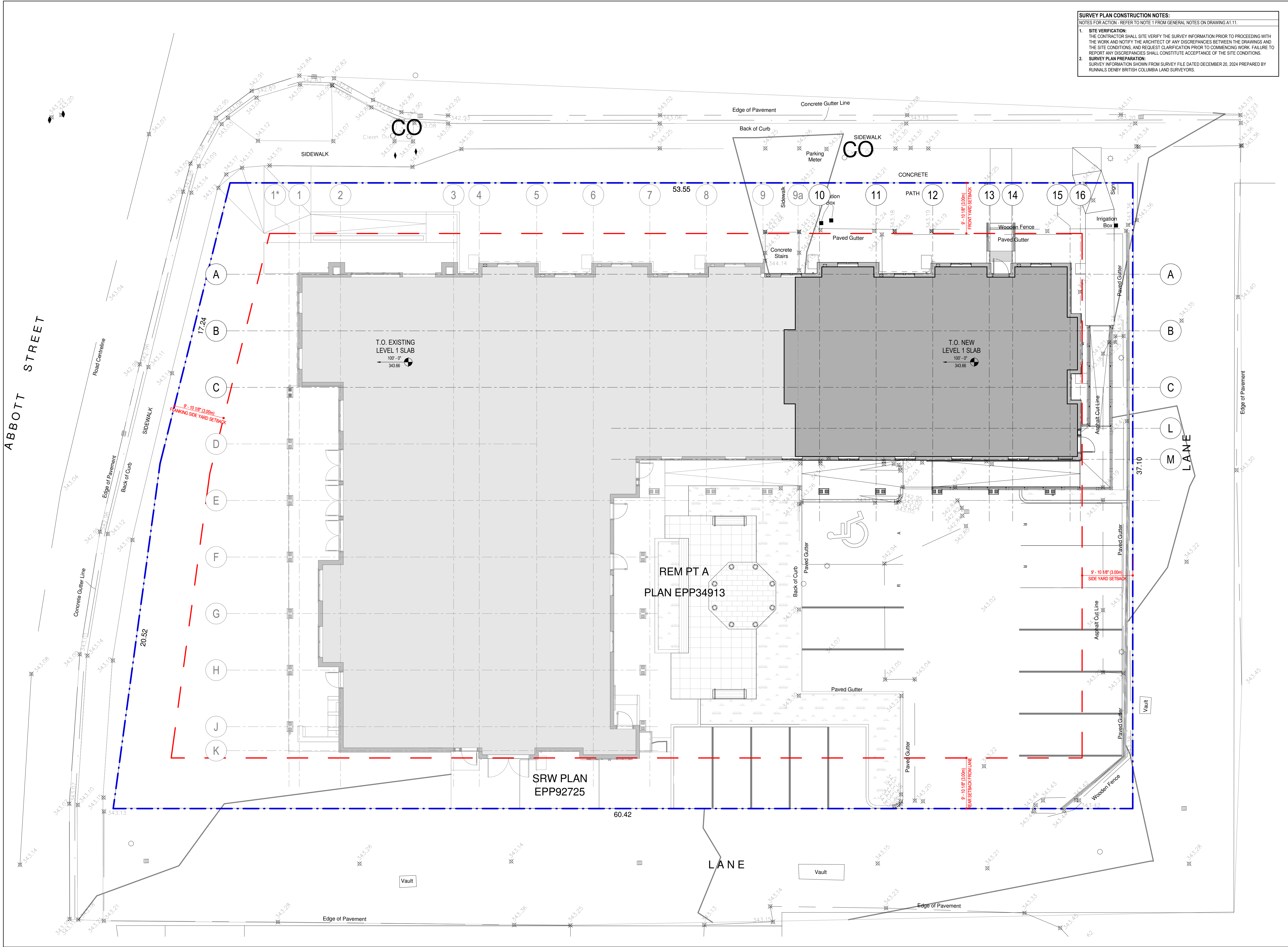
Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number
DP-A2.01

Drawing Title
EXISTING SITE PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST



SURVEY PLAN CONSTRUCTION NOTES:
NOTES FOR ACTION - REFER TO NOTE 1 FROM GENERAL NOTES ON DRAWING A1.11.

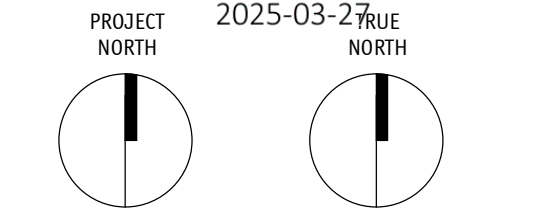
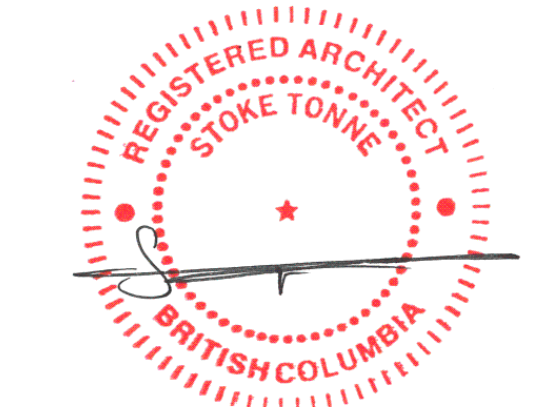
1. **SITE VERIFICATION:**
THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, AND REQUEST CLARIFICATION PRIOR TO COMMENCING WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.

2. **SURVEY PLAN PREPARATION:**
SURVEY INFORMATION SHOWN FROM SURVEY FILE DATED DECEMBER 20, 2024 PREPARED BY RUNNALS DENBY BRITISH COLUMBIA LAND SURVEYORS.

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS



Issued		Issued For
No.	Date	
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number
DP-A2.03

Drawing Title
SURVEY PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST

[illegible]

Project Title
JOHANNA'S HOUSE
ADDITION

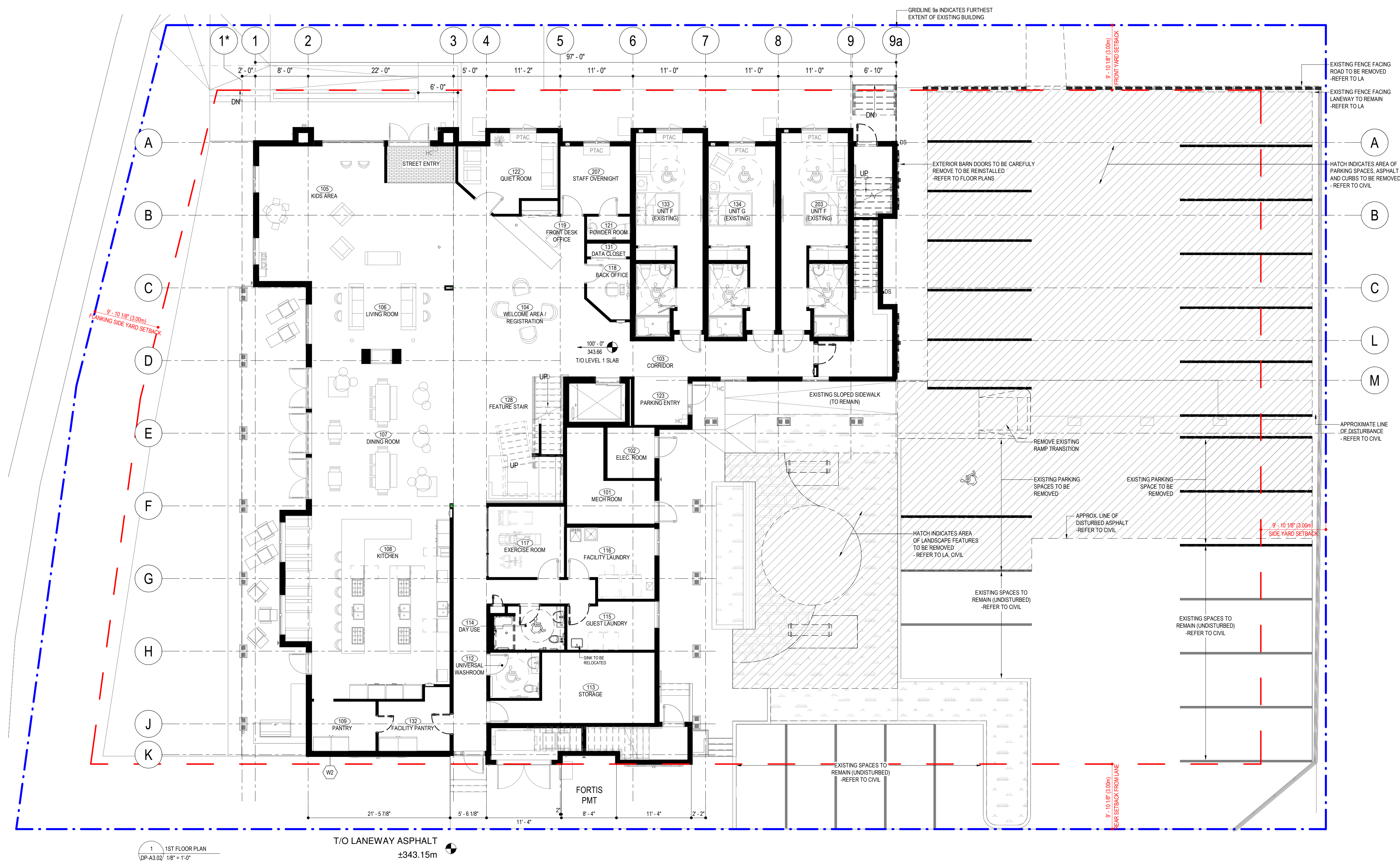
Drawing Number	Revision
----------------	----------

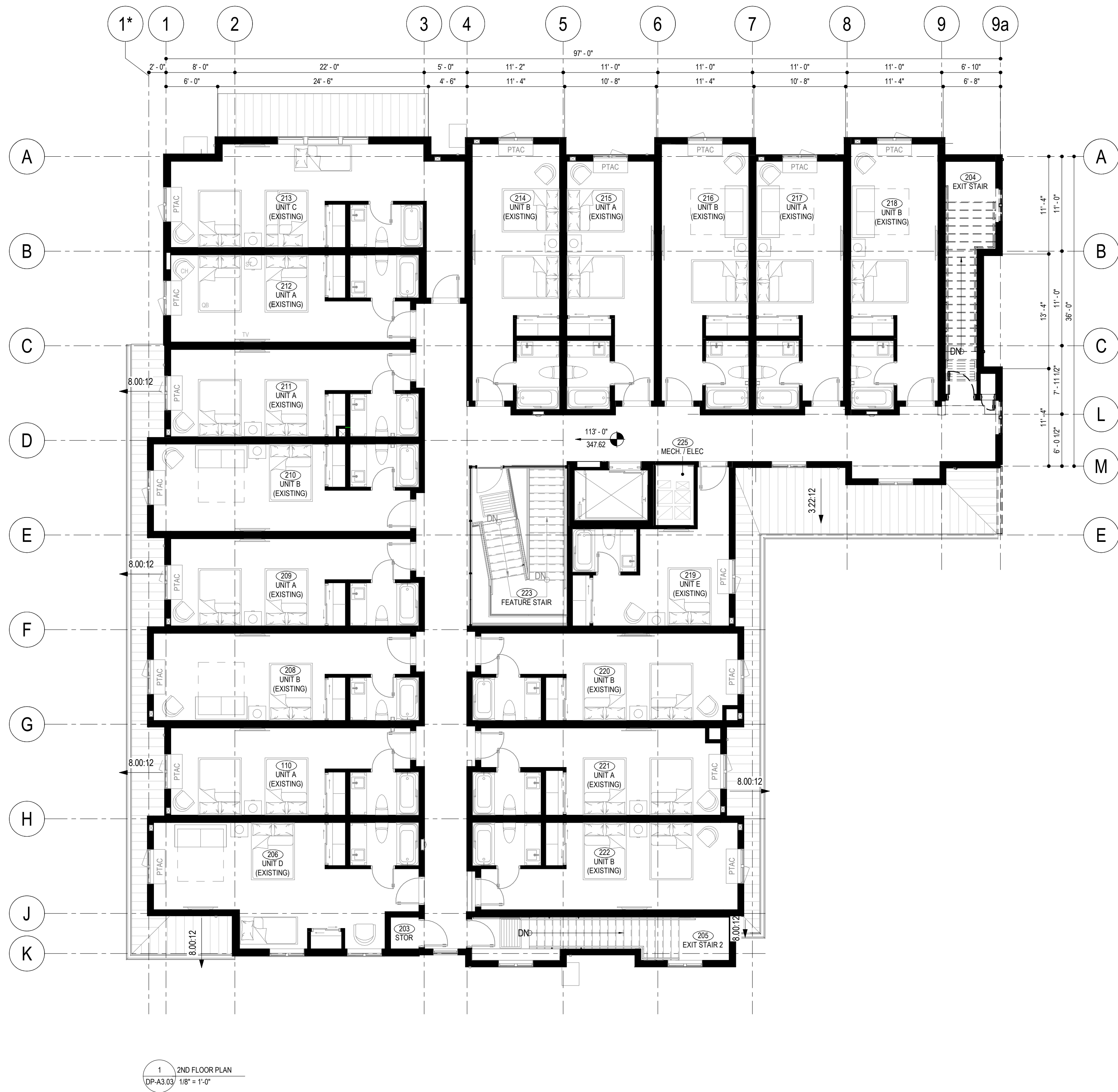
DP-A3.02

Drawing Title

LEVEL 1 DEMOLITION
FLOOR PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST





233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the
exclusive property of Meiklejohn Architects Inc. and may not
be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately
report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS

a

m+m

MEIKLEJOHN ARCHITECTS INC.

JoeAnna's
House

REGISTERED ARCHITECT
STOKES TONNE
BRITISH COLUMBIA

PROJECT
NORTH

2025-03-27
TRUE
NORTH

Issued

No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision

No.	Date	Revision

Project Title

JOEANNA'S HOUSE
ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number

2002

Revision

DP-A3.03

Drawing Title

LEVEL 2 DEMOLITION
FLOOR PLAN

Job No.

2002

Scale

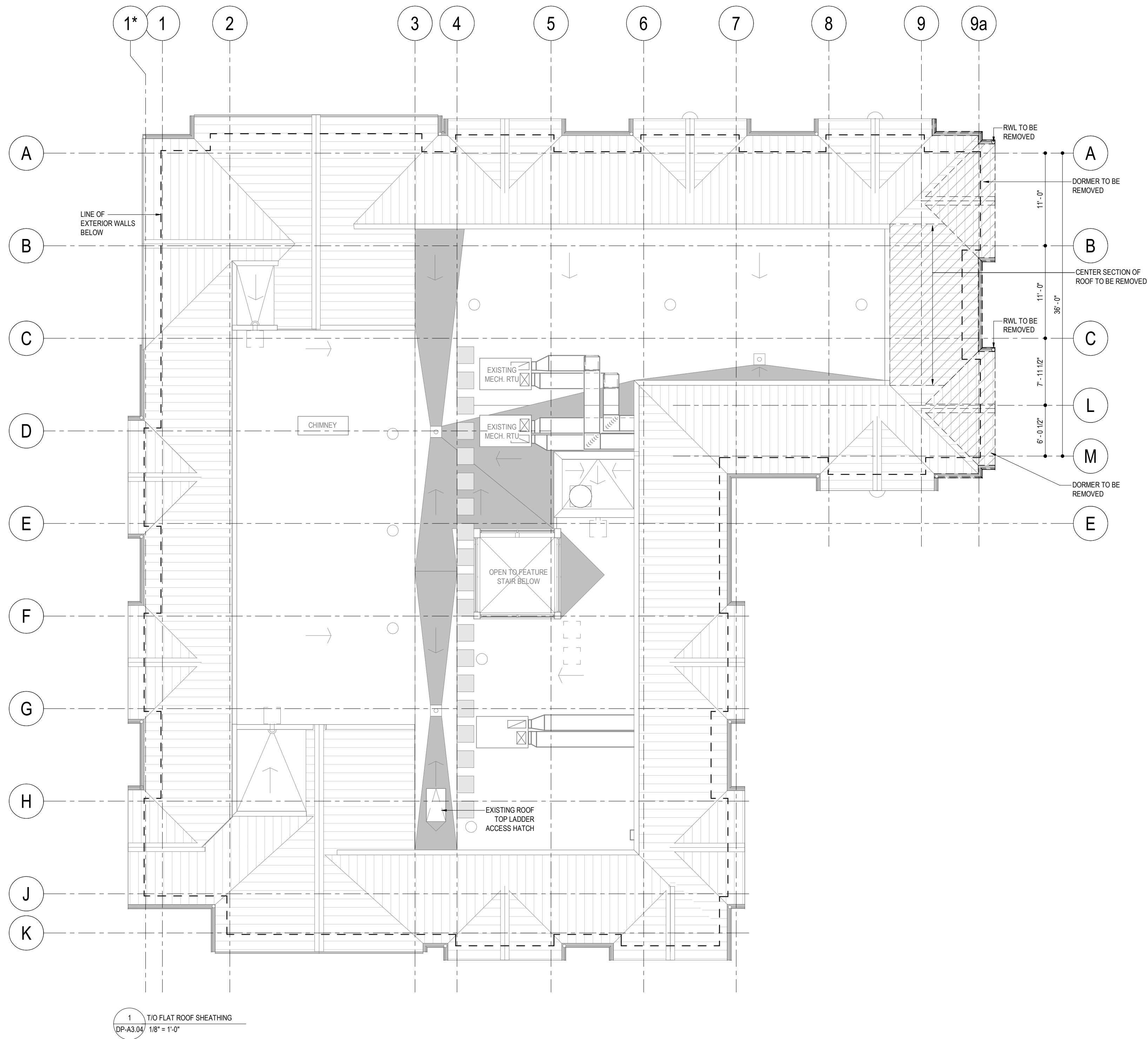
1/8" = 1'-0"

Drawn

BN

Checked

ST



233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED

This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS

The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects

DO NOT SCALE DRAWINGS

a

m+m

MEIKLEJOHN ARCHITECTS INC.

JoeAnna's House

REGISTERED ARCHITECT
STOKES TONNE
BRITISH COLUMBIA

PROJECT NORTH

2025-03-27
TRUE NORTH

Issued

No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision

No.	Date	Revision

Project Title

JOEANNA'S HOUSE ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number

Revision

DP-A3.04

Drawing Title

ROOF DEMOLITION PLAN

Job No.

2002

Scale

1/8" = 1'-0"

Drawn

BN

Checked

ST

<u>Issued</u>		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

[illegible]

Project Title
JOHANNA'S HOUSE
ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

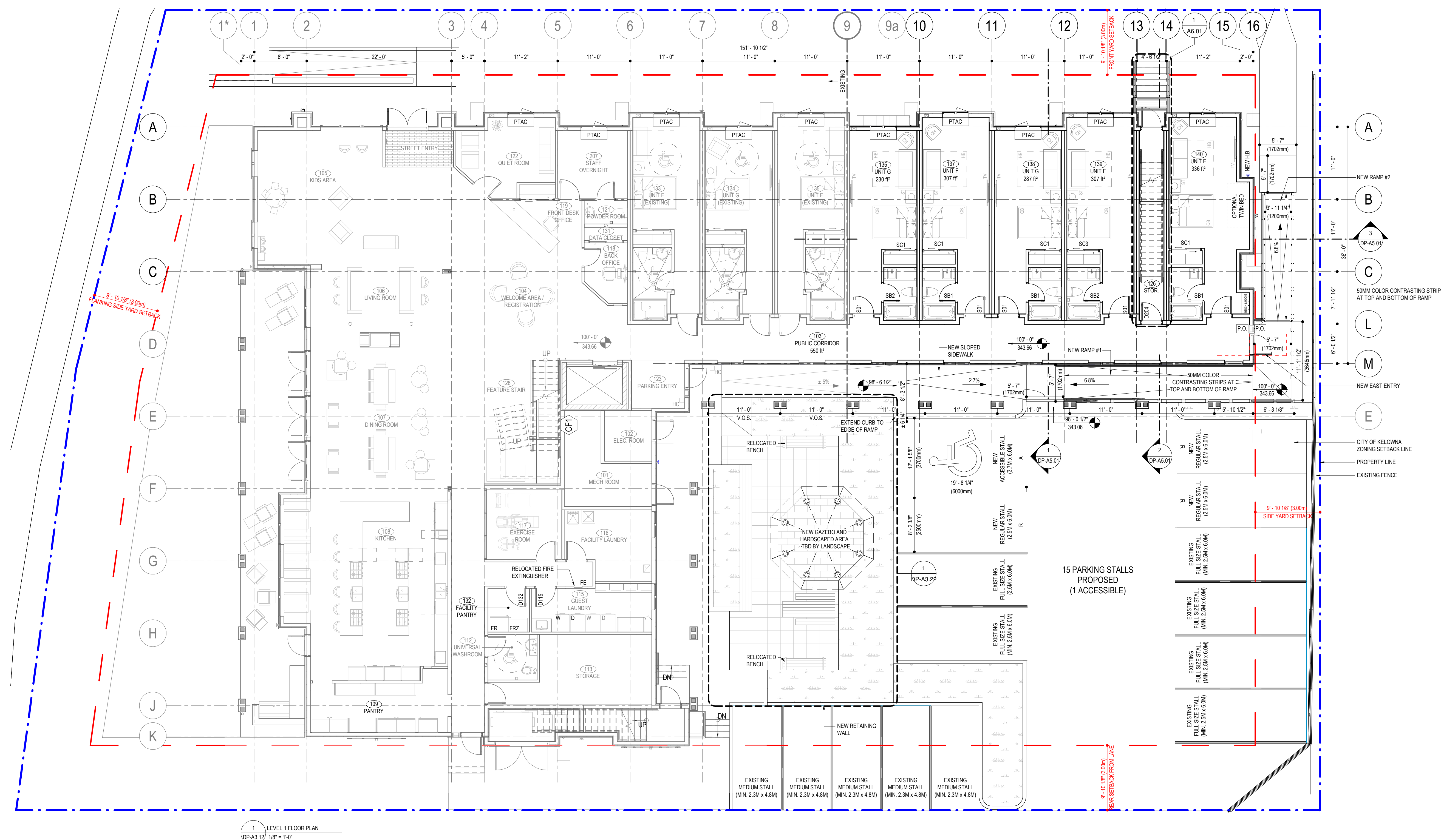
Drawing Number	Revision
----------------	----------

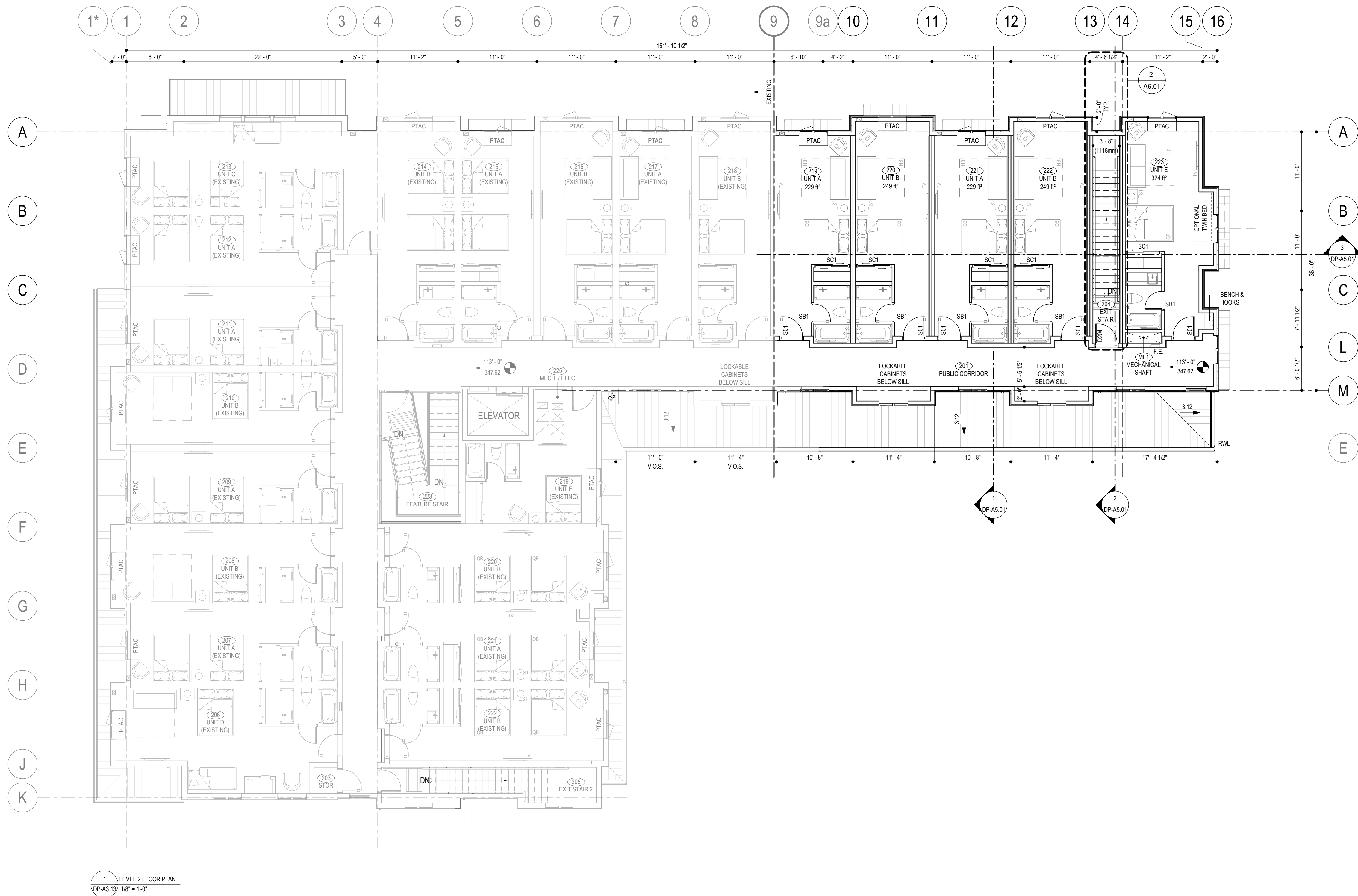
DP-A3.12

Drawing Title

LEVEL 1 FLOOR PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST

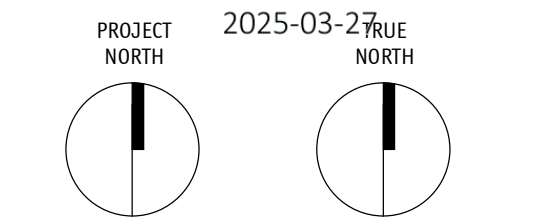
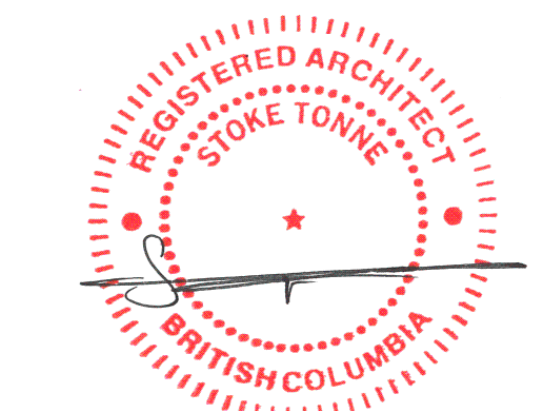




233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the
exclusive property of Meiklejohn Architects Inc. and may not
be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately
report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS



Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number
Revision

DP-A3.13

Drawing Title

LEVEL 2 FLOOR PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST

Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

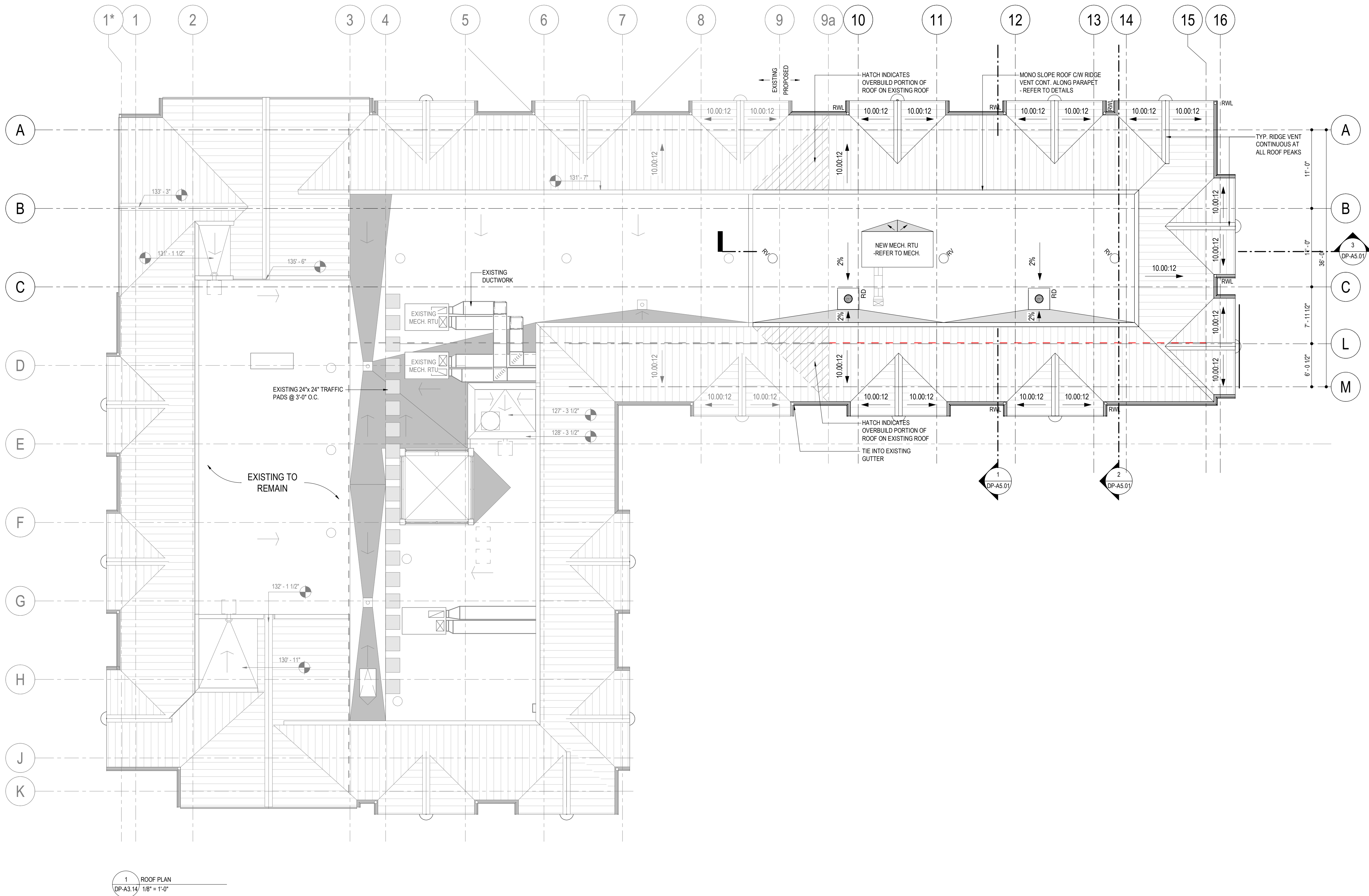
Drawing Number Revision

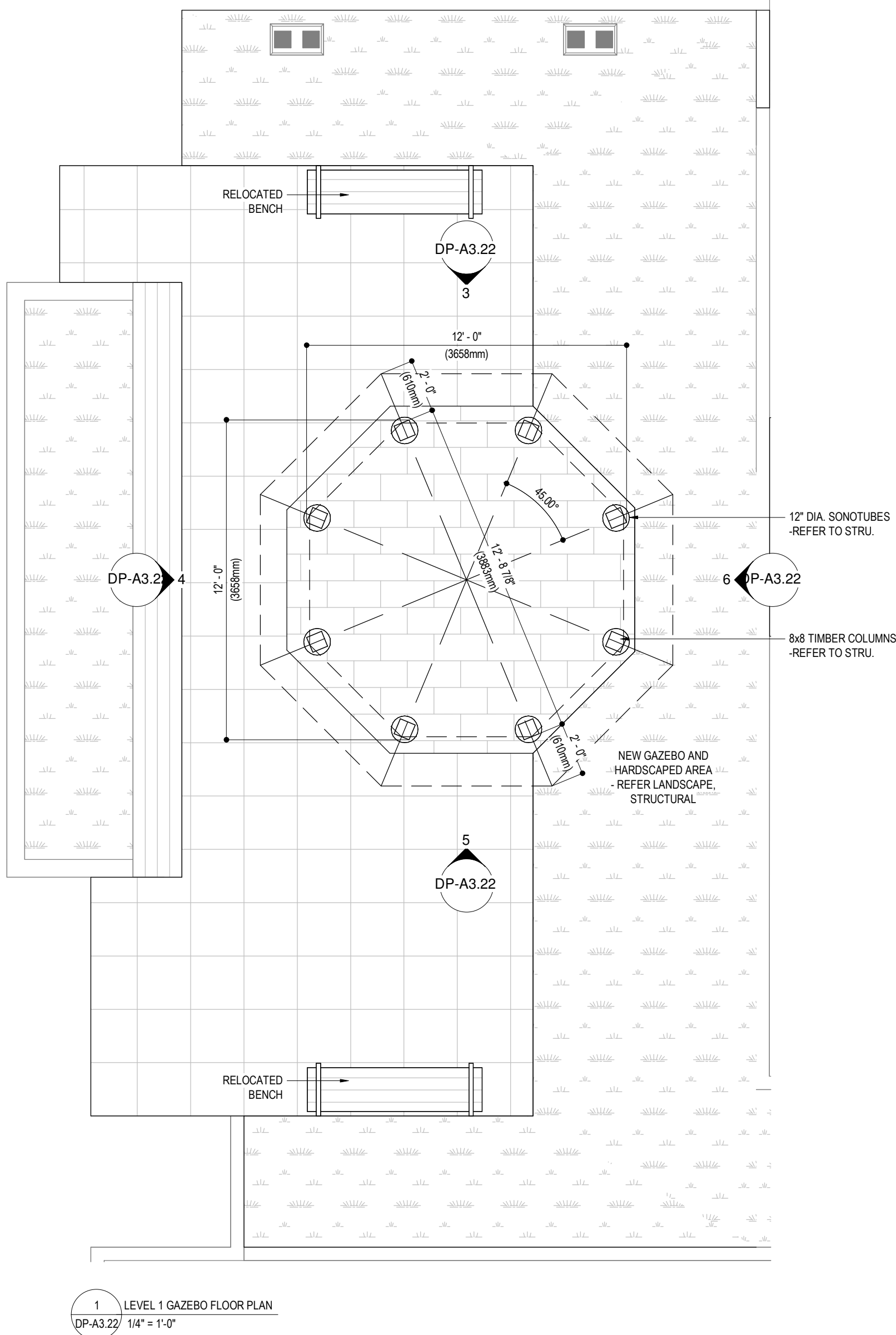
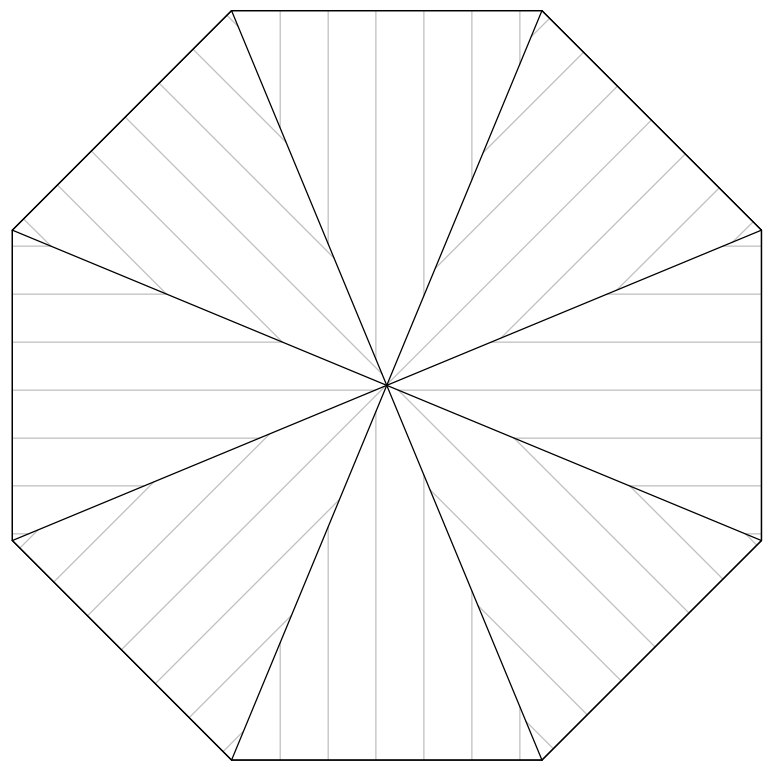
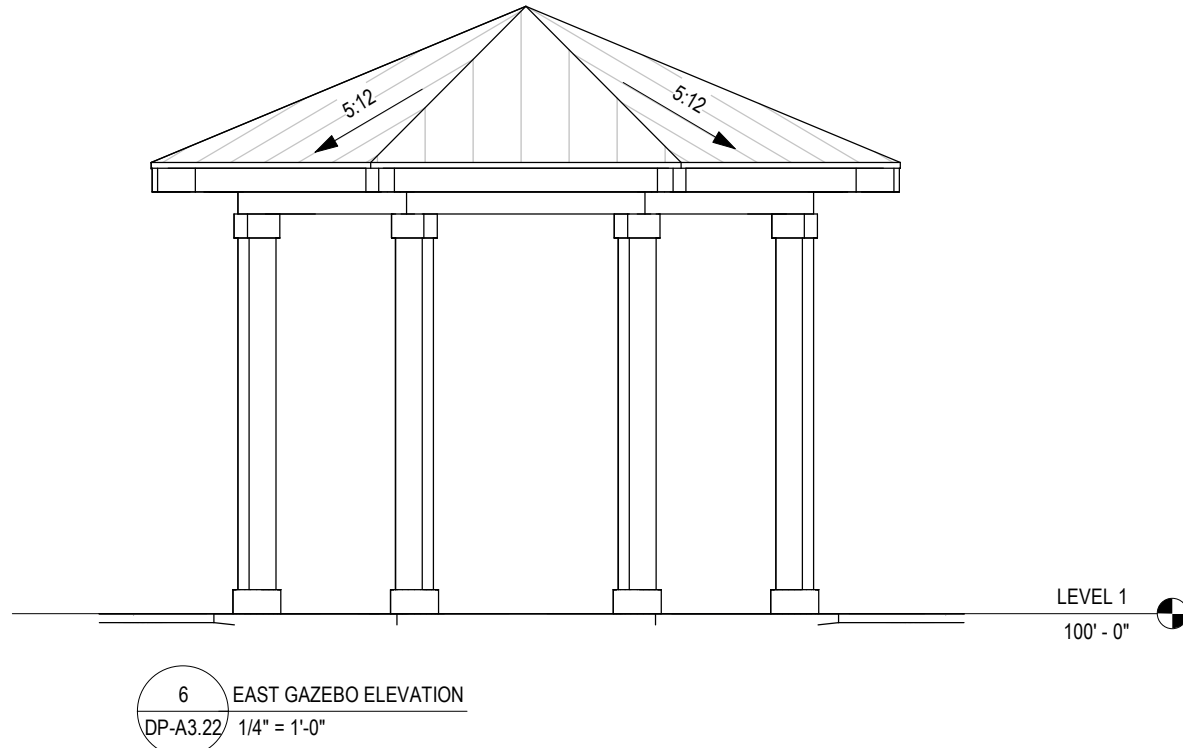
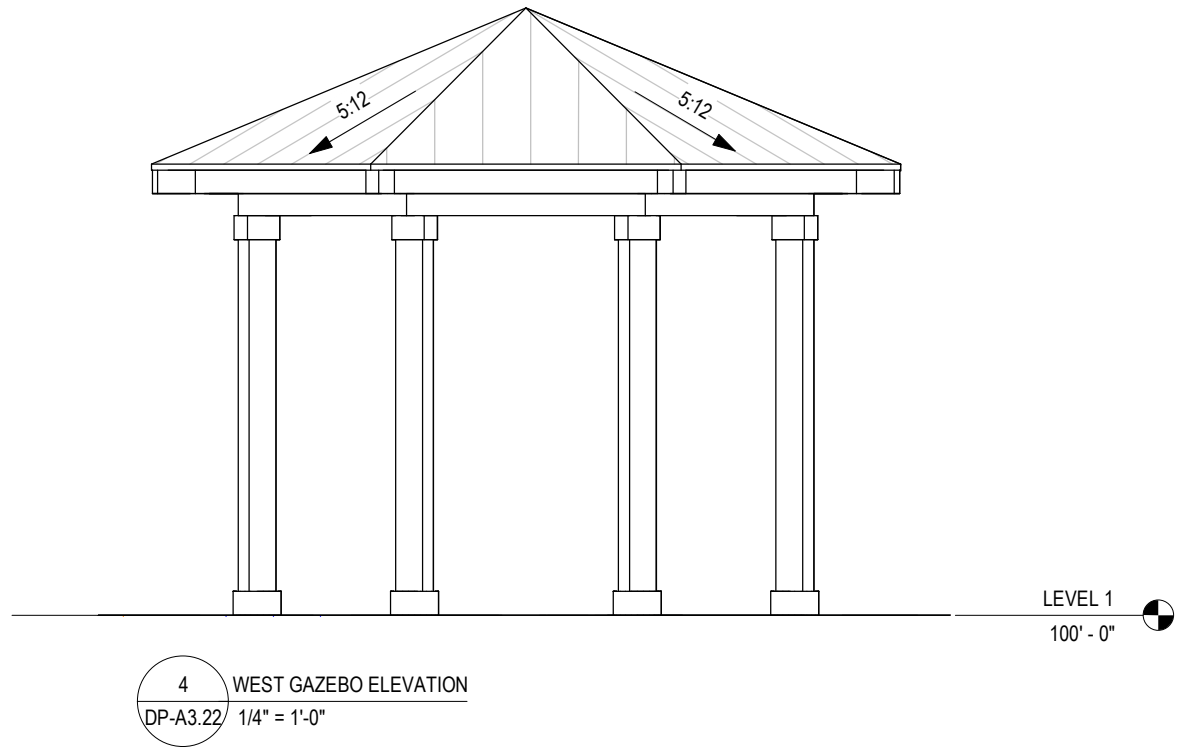
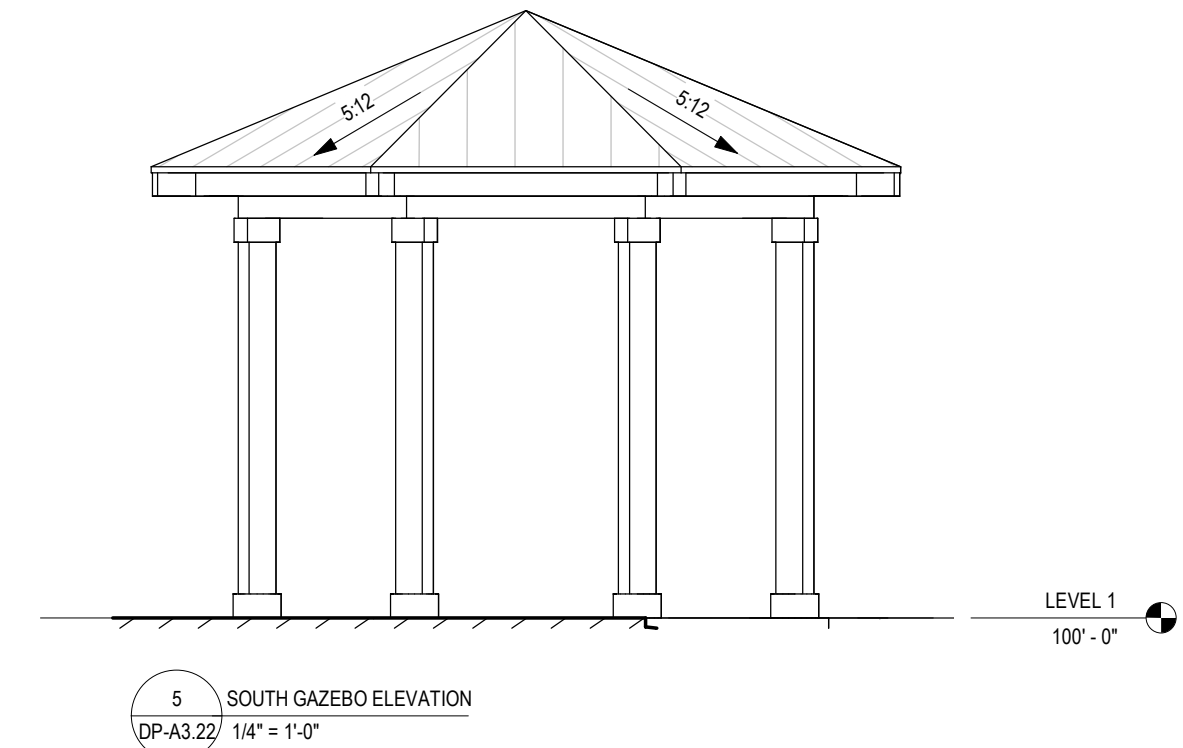
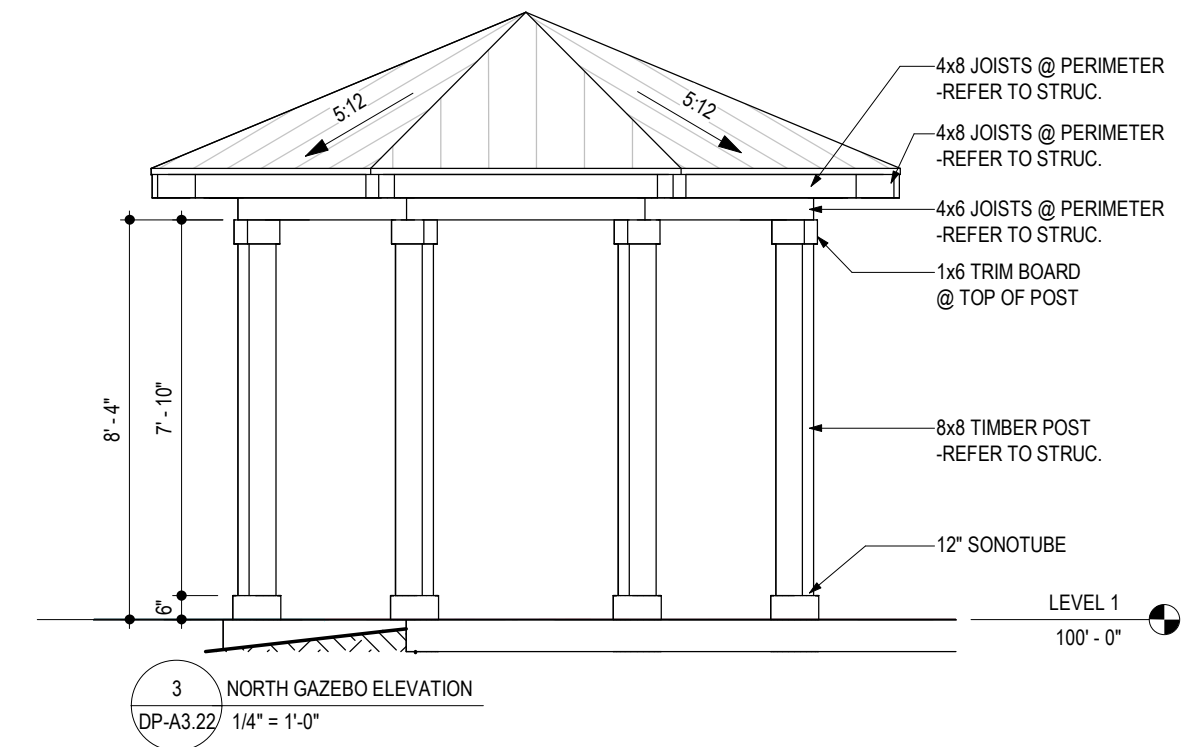
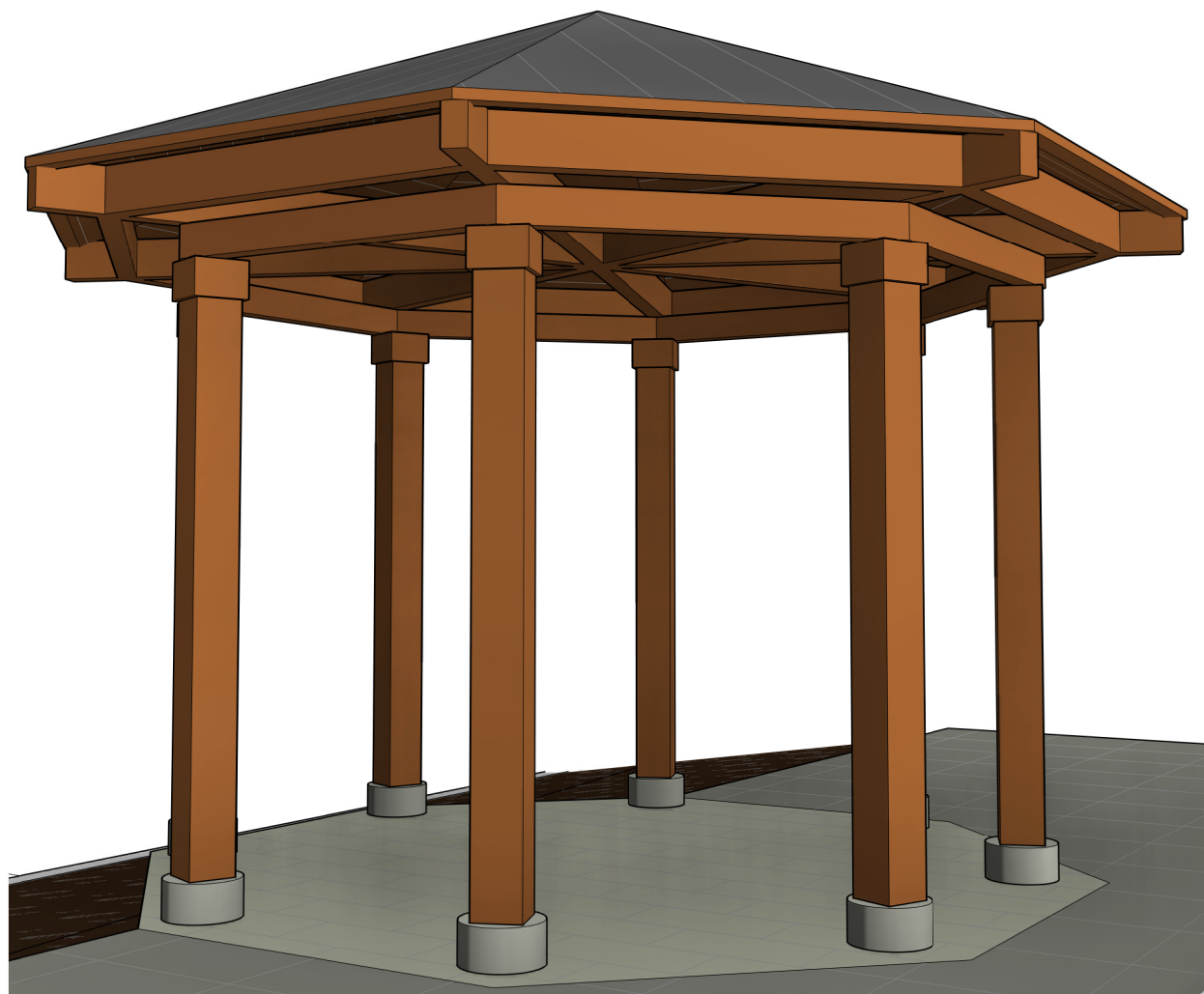
DP-A3.14

Drawing Title

ROOF PLAN

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	ST





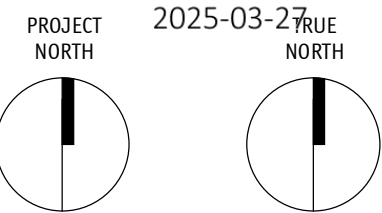
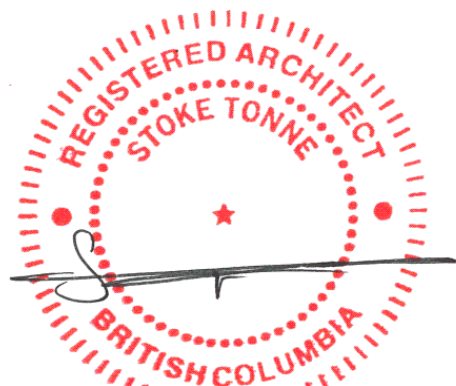
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the
exclusive property of Meiklejohn Architects Inc. and may not
be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately
report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS



JoeAnna's
House



Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number Revision

DP-A3.22

Drawing Title

LEVEL 1 GAZEBO

Job No.	2002
Scale	1/4" = 1'-0"
Drawn	BN
Checked	ST



BUILDING ELEVATION KEYNOTE SCHEDULE		
	MATERIAL	COLOUR
1.0 CLADDING		
1.1	PRE-FINISHED HARDIE BOARD & BATTEN SIDING (12\" O.C.)	WHITE
1.2	PRE-FINISHED HARDIE BOARD & BATTEN SIDING (6\" O.C.)	WHITE
1.3	THIN STONE VENEER CLADDING	LIGHT / MEDIUM GREY
1.4	ARCHITECTURAL CONCRETE	NATURAL / UNPAINTED
1.5	WOOD STRUCTURE	WOOD - MEDIUM TONE
2.0 SOFFIT / FACIAS / TRIMS		
2.1	WOOD SOFFIT	WOOD - MEDIUM TONE
2.2	VENTED ALUMINUM SOFFITS	WHITE
2.3	PRE-FINISHED HARDIE TRIM & FASCIA	WHITE
2.4	WOOD TRIM	WOOD - MEDIUM TONE
2.5	PRE-FINISHED METAL FLASHING	WHITE
3.0 WINDOWS		
3.1	VINYL WINDOWS	BLACK
3.2	VISION GLAZING	CLEAR / NO TINT
3.2	VINYL WINDOWS	MEDIUM GRAY
3.2	VISION GLAZING	CLEAR / NO TINT
4.0 DOORS		
4.1	METAL DOOR & STEEL FRAME	WHITE
4.2	FIBREGLASS DOOR	WOOD LOOK
5.0 ROOFS / FLASHINGS		
5.1	STANDING SEAM ROOF	BLACK
5.2	ROOF FLASHING	BLACK
5.3	PRE-FINISHED GUTTERS C/W DECORATIVE DOWNSPOUT	BLACK
5.4	FLAT ROOF MEMBRANE	MEDIUM GREY
6.0 METALS		
6.1	METAL GUARDRAILS & HANDRAILS	BLACK
8.0 SPECIALTIES		
8.1	FARMHOUSE LIGHT FIXTURE (REFER TO ELEC.)	BLACK
8.2	VENTS	WHITE
8.3	WALL MOUNTED SIGN	TBD BY OWNER

NOTES:		
1. ALL NEW MATERIALS TO BE EQUIVALENT TO OR MATCH EXISTING MATERIAL IN COLOR, SIZE, AND SPACING.		
2. KEYNOTES NOT SHOWN FOR EXISTING BUILDING MATERIALS/ELEMENTS FOR CLARIFY.		
BUILDING ELEVATION MATERIAL SCHEDULE		
CEMENT PANEL - WHITE	THIN STONE VENEER	ARCHITECTURAL CONCRETE - NATURAL
1.1, 1.2	1.3	1.4
WOOD SOFFIT - MEDIUM TONE	METALS - BLACK	TRIMS & FLASHING - WHITE
2.1	5.2, 5.3, 6.1, 8.1	2.2, 2.3
ROOF - STANDING SEAM	ROOF MEMBRANE - MEDIUM GREY	WOOD STRUCTURE - MEDIUM TONE
4.4	5.4	1.5, 2.4

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS

a

m+m

MEIKLEJOHN ARCHITECTS INC.

JoeAnna's House

REGISTERED ARCHITECT
STOKO TONNE
BRITISH COLUMBIA

2025-03-27

Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION
Revision		
No.	Date	Revision

Project Title
JOEANNA'S HOUSE
ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number
DP-A4.01

Drawing Title
EXTERIOR ELEVATIONS

Job No.	2002
Scale	1/8" = 1'-0"
Drawn	BN
Checked	JM



BUILDING ELEVATION KEYNOTE SCHEDULE		
	MATERIAL	COLOUR
1.0 CLADDING		
1.1	PRE-FINISHED HARDIE BOARD & BATTEN SIDING (12" O.C.)	WHITE
1.2	PRE-FINISHED HARDIE BOARD & BATTEN SIDING (6" O.C.)	WHITE
1.3	THIN STONE VENEER CLADDING	LIGHT / MEDIUM GREY
1.4	ARCHITECTURAL CONCRETE	NATURAL / UNPAINTED
1.5	WOOD STRUCTURE	WOOD - MEDIUM TONE

2.0 SOFFIT / FACIAS / TRIMS		
2.1	WOOD SOFFIT	WOOD - MEDIUM TONE
2.2	VENTED ALUMINIUM SOFFITS	WHITE
2.3	PRE-FINISHED HARDIE TRIM & FASCIA	WHITE
2.4	WOOD TRIM	WOOD - MEDIUM TONE
2.5	PRE-FINISHED METAL FLASHING	WHITE

3.0 WINDOWS		
3.1	VINYL WINDOWS	BLACK
3.2	VINYL GLAZING	CLEAR / NO TINT
3.3	VINYL WINDOWS	MEDIUM GRAY
3.4	VINYL GLAZING	CLEAR / NO TINT

4.0 DOORS		
4.1	METAL DOOR & STEEL FRAME	WHITE
4.2	FIBREGLASS DOOR	WOOD LOOK

5.0 ROOFS / FLASHINGS		
5.1	STANDING SEAM ROOF	BLACK
5.2	ROOF FLASHING	BLACK
5.3	PRE-FINISHED GUTTERS C/W DECORATIVE DOWNSPOUT	BLACK
5.4	FLAT ROOF MEMBRANE	MEDIUM GREY

6.0 METALS		
6.1	METAL GUARDRAILS & HANDRAILS	BLACK

8.0 SPECIALTIES		
8.1	FARMHOUSE LIGHT FIXTURE (REFER TO ELEC.)	BLACK
8.2	VENTS	WHITE
8.3	WALL MOUNTED SIGN	TBD BY OWNER

NOTES:
1. ALL NEW MATERIALS TO BE EQUIVALENT TO OR MATCH EXISTING MATERIAL IN COLOR, SIZE, AND SPACING.
2. KEYNOTES NOT SHOWN FOR EXISTING BUILDING MATERIALS/ELEMENTS FOR CLARIFY.

BUILDING ELEVATION MATERIAL SCHEDULE		
CEMENT PANEL - WHITE 1.1, 1.2	THIN STONE VENEER 1.3	ARCHITECTURAL CONCRETE - NATURAL 1.4
WOOD SOFFIT - MEDIUM TONE 2.1	METALS - BLACK 5.2, 5.3, 6.1, 8.1	TRIMS & FLASHING - WHITE 2.2, 2.3
ROOF - STANDING SEAM 4.4	ROOF MEMBRANE - MEDIUM GREY 5.4	WOOD STRUCTURE - MEDIUM TONE 1.5, 2.4

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mat@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS

a

m+m

MEIKLEJOHN ARCHITECTS INC.

JoeAnna's House

REGISTERED ARCHITECT
STOKES TONNE
BRITISH COLUMBIA

2025-03-27

Issued

No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision

No.	Date	Revision

Project Title

JOEANNA'S HOUSE ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP3192

Drawing Number

2002

Scale

1/8" = 1'-0"

Drawn

BN

Checked

JM

DP-A4.02

Drawing Title

EXTERIOR ELEVATIONS



233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS



m+m
MEIKLEJOHN ARCHITECTS INC.



JoeAnna's
House



2025-03-27

Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION
Revision		
No.	Date	Revision

Project Title
JOEANNA'S HOUSE
ADDITION

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

Drawing Number Revision

DP-A4.05

Drawing Title

3D VIEWS

Job No.	2002
Scale	N.T.S.
Drawn	BN
Checked	JM



m+m
MEIKLEJOHN ARCHITECTS INC.



JoeAnna's
House



2025-03-27

Issued		
No.	Date	Issued For
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION
Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP3192

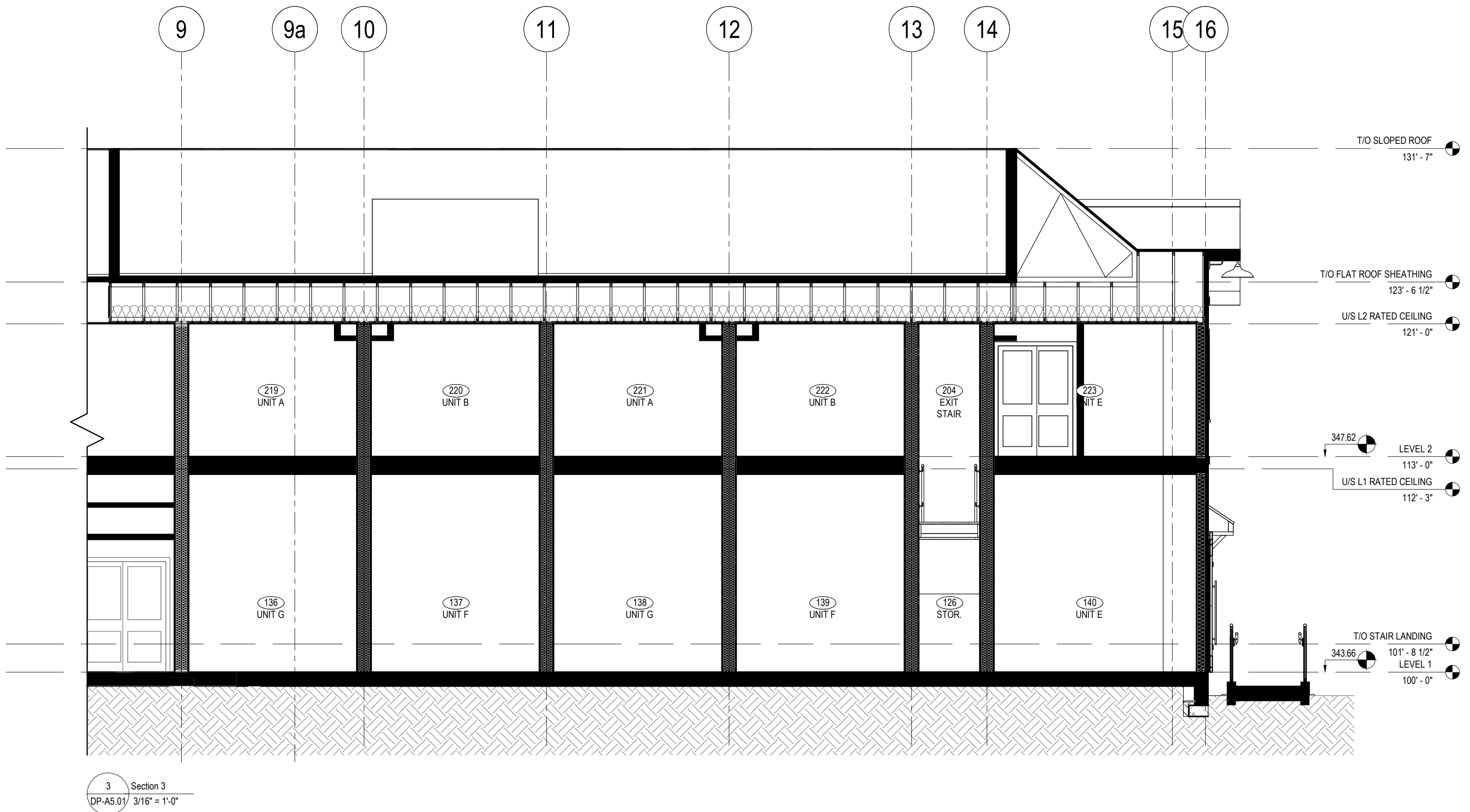
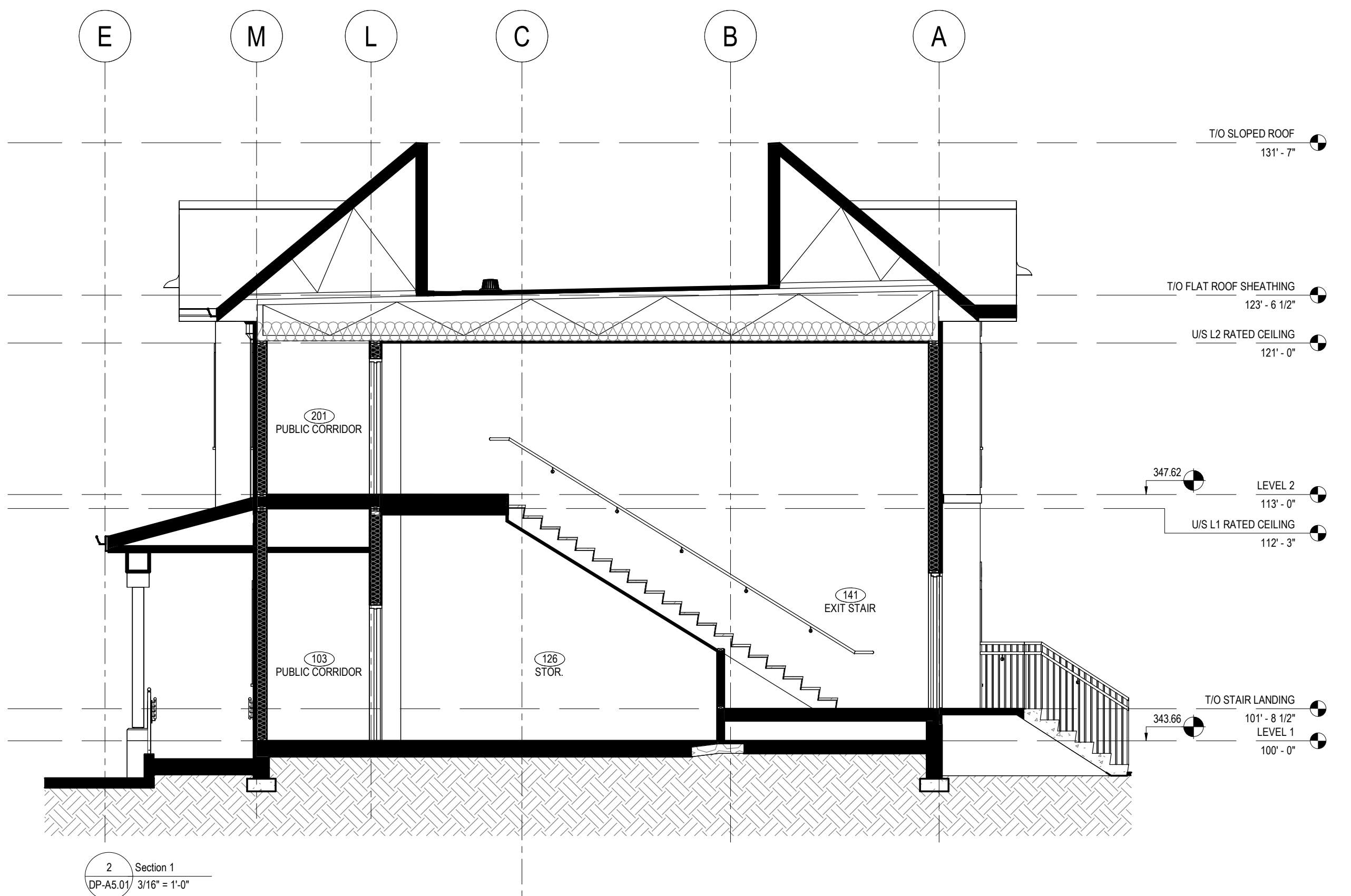
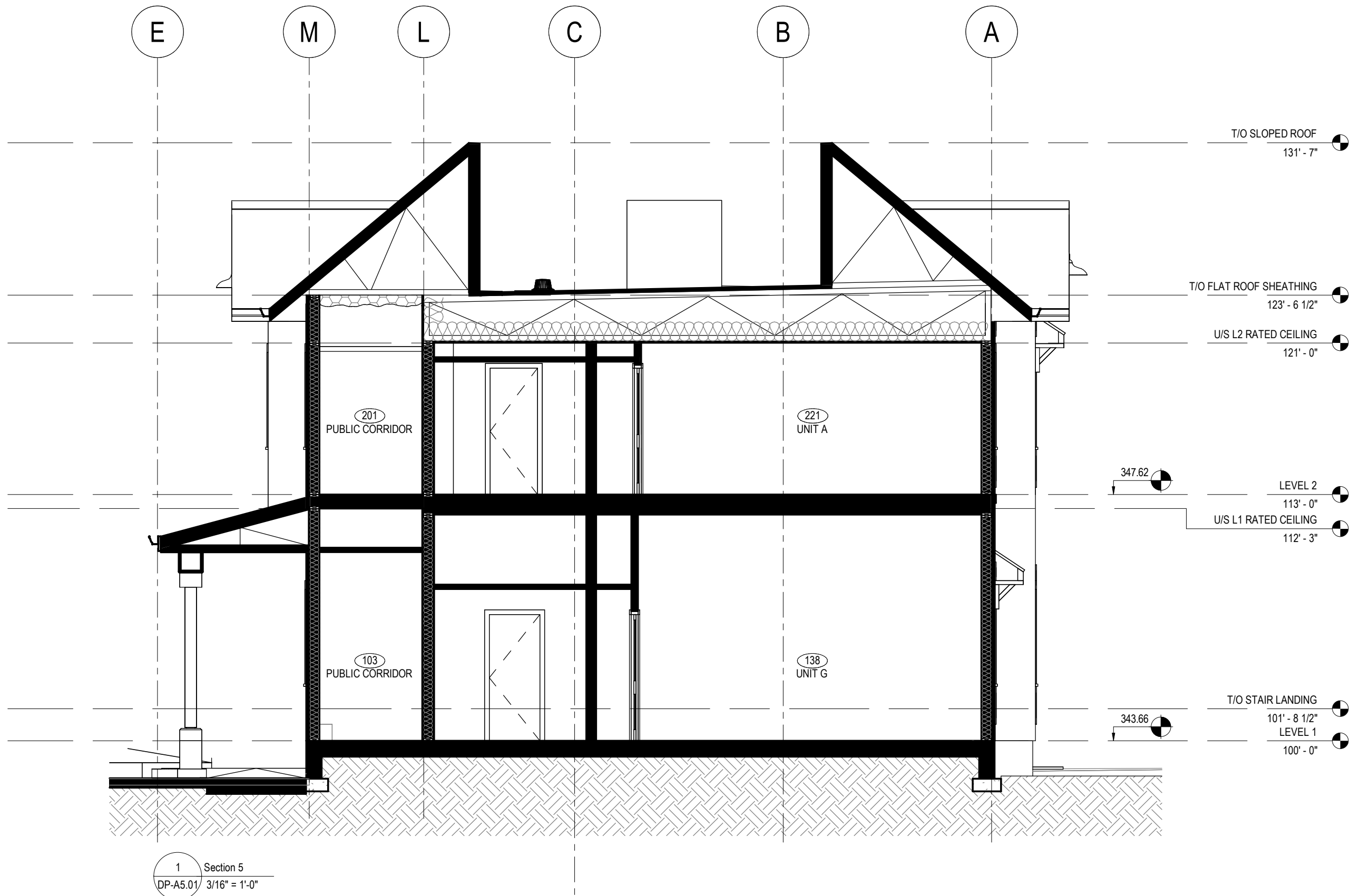
Drawing Number Revision

DP-A5.01

Drawing Title

BUILDING SECTIONS

Job No.	2002
Scale	3/16" = 1'-0"
Drawn	BN
Checked	JM



UNIT PLAN SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	UNIT ENTRY VIA CORRIDOR

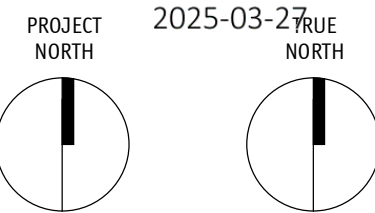
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: ket-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS



JoeAnna's
House



Issued		Issued For
No.	Date	
1	2025-03-27	DEVELOPMENT PERMIT APPLICATION

Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

321 ROYAL AVENUE, KELOWNA BC, V1Y 0G4
LOT A, DISTRICT LOT 14, O.D.Y.D.,
PLAN EPP34913 EXCEPT PLAN EPP53192

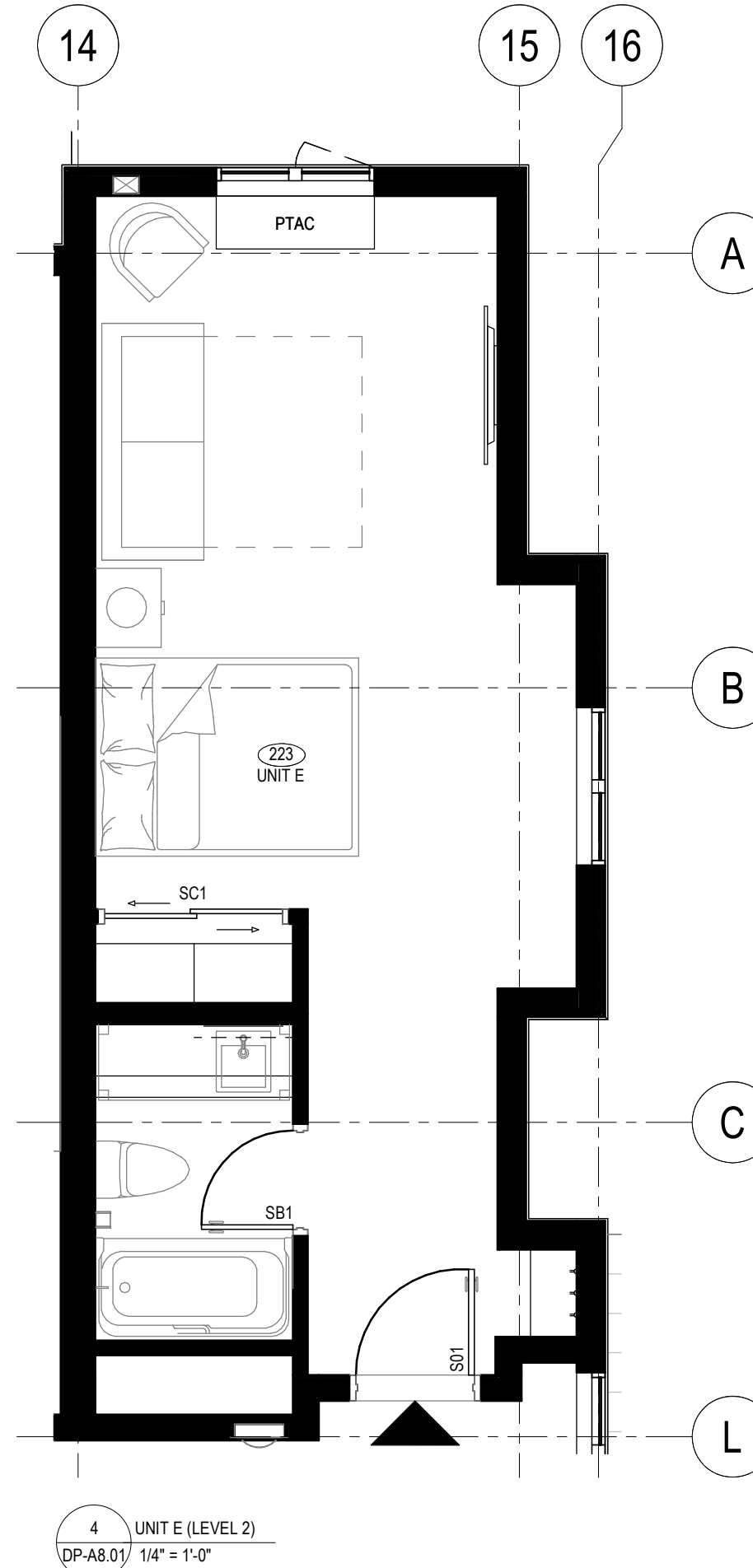
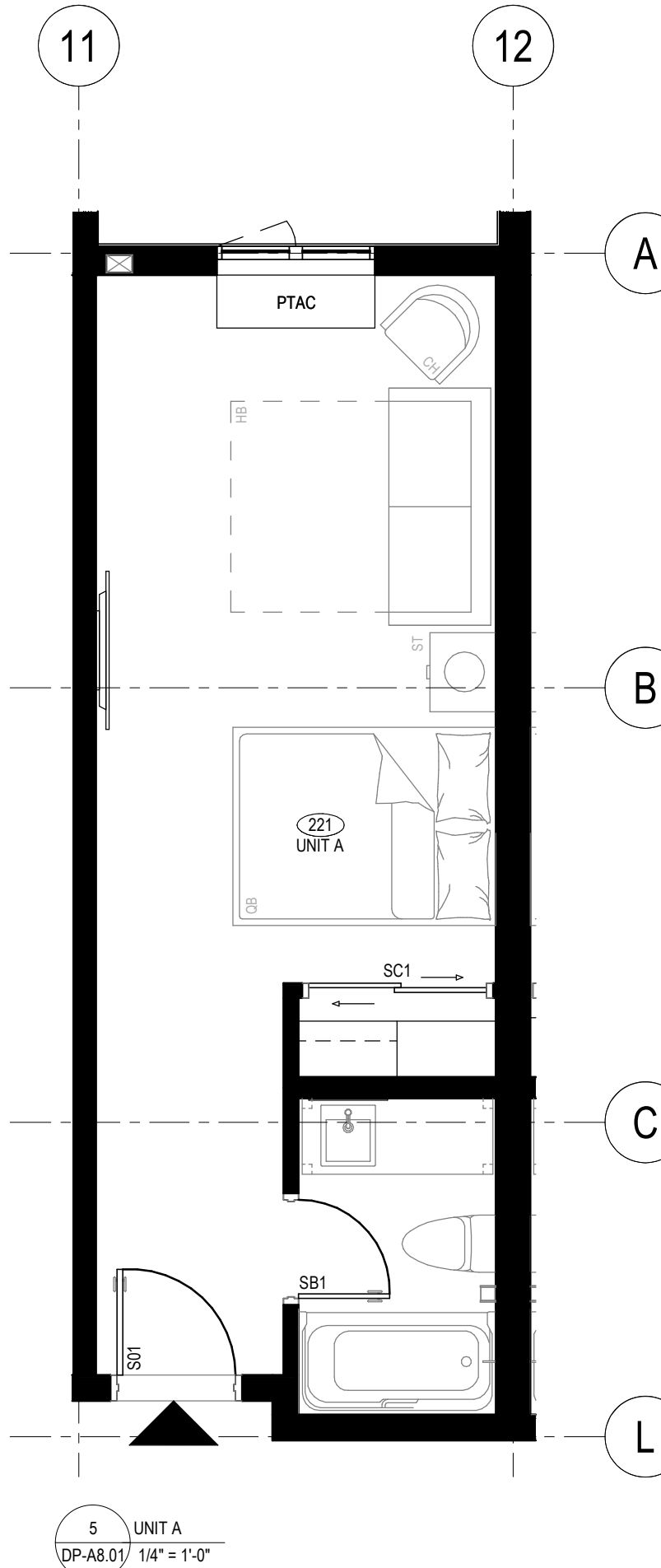
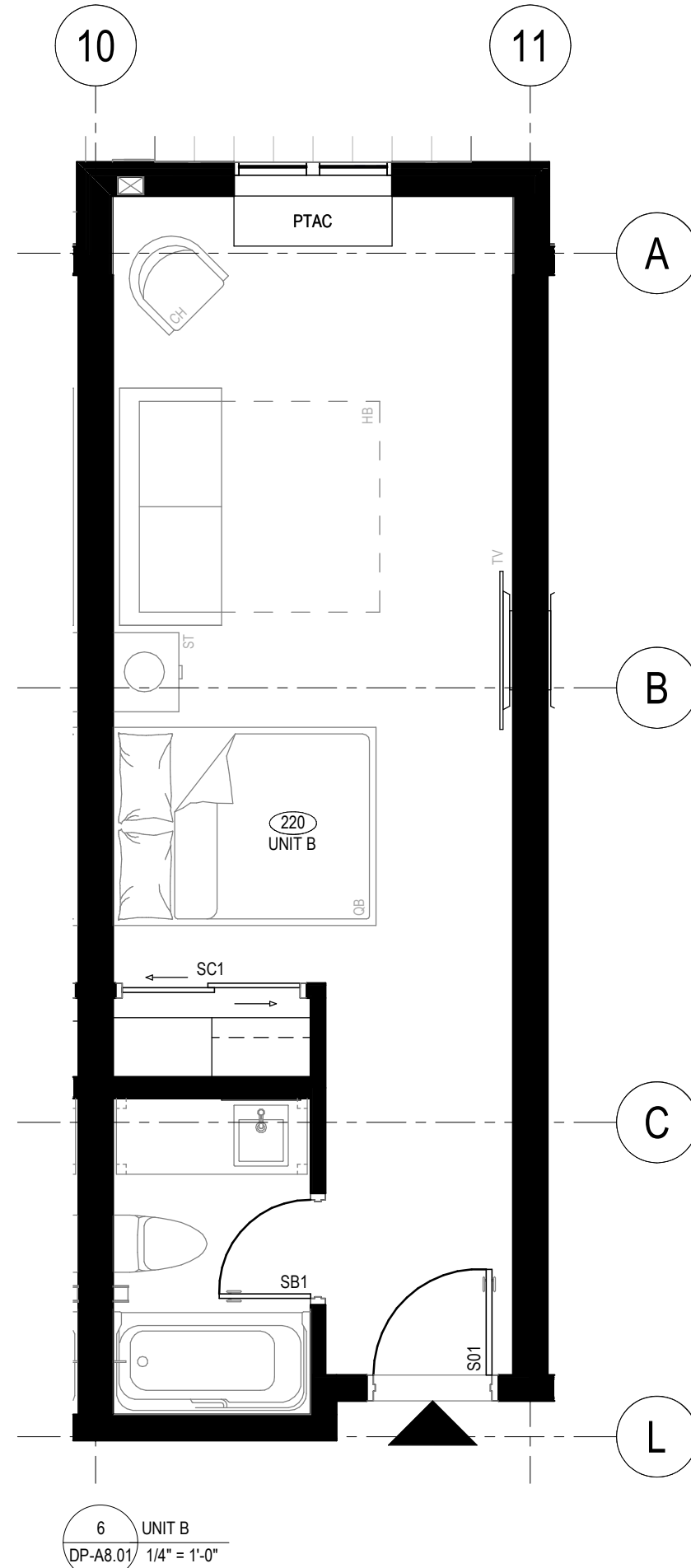
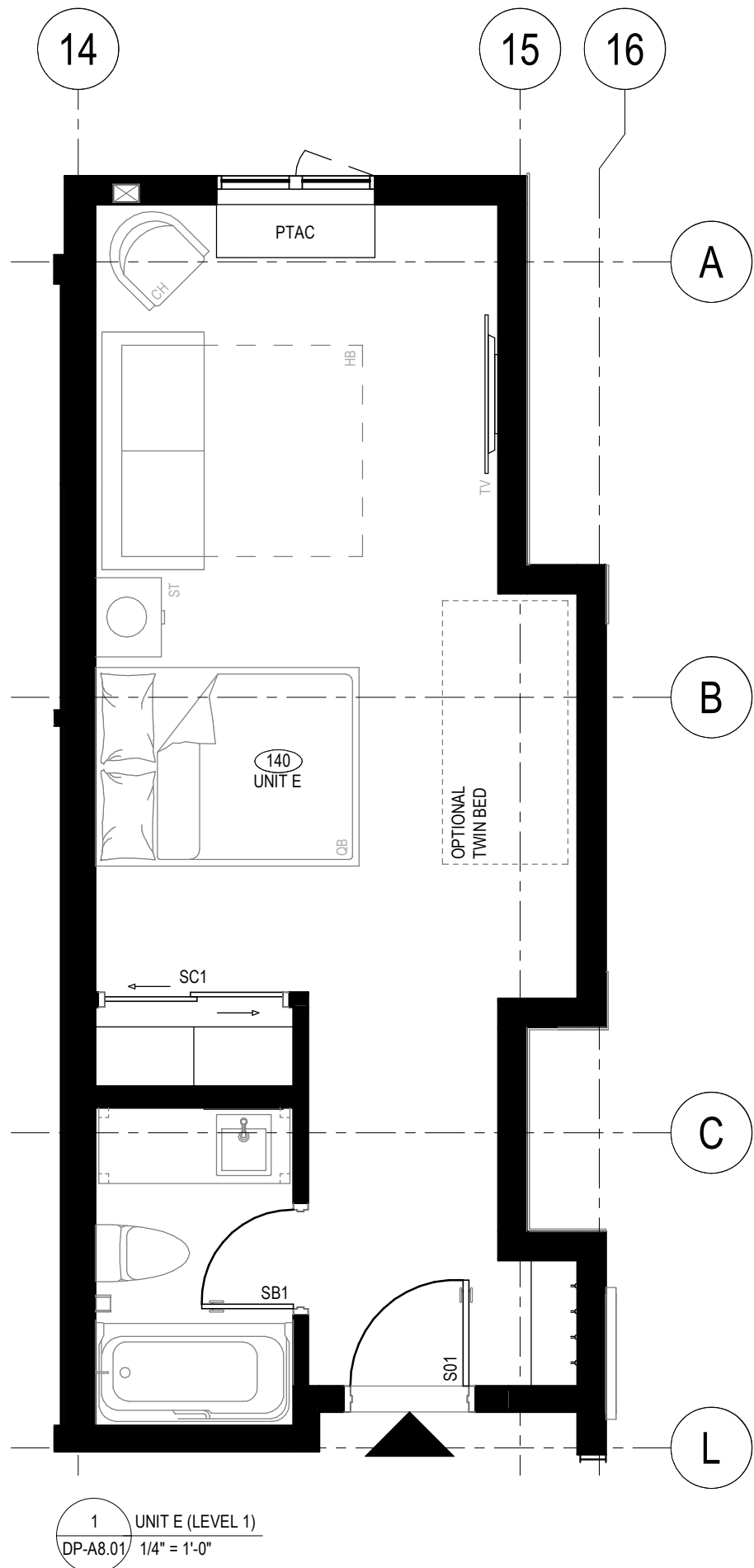
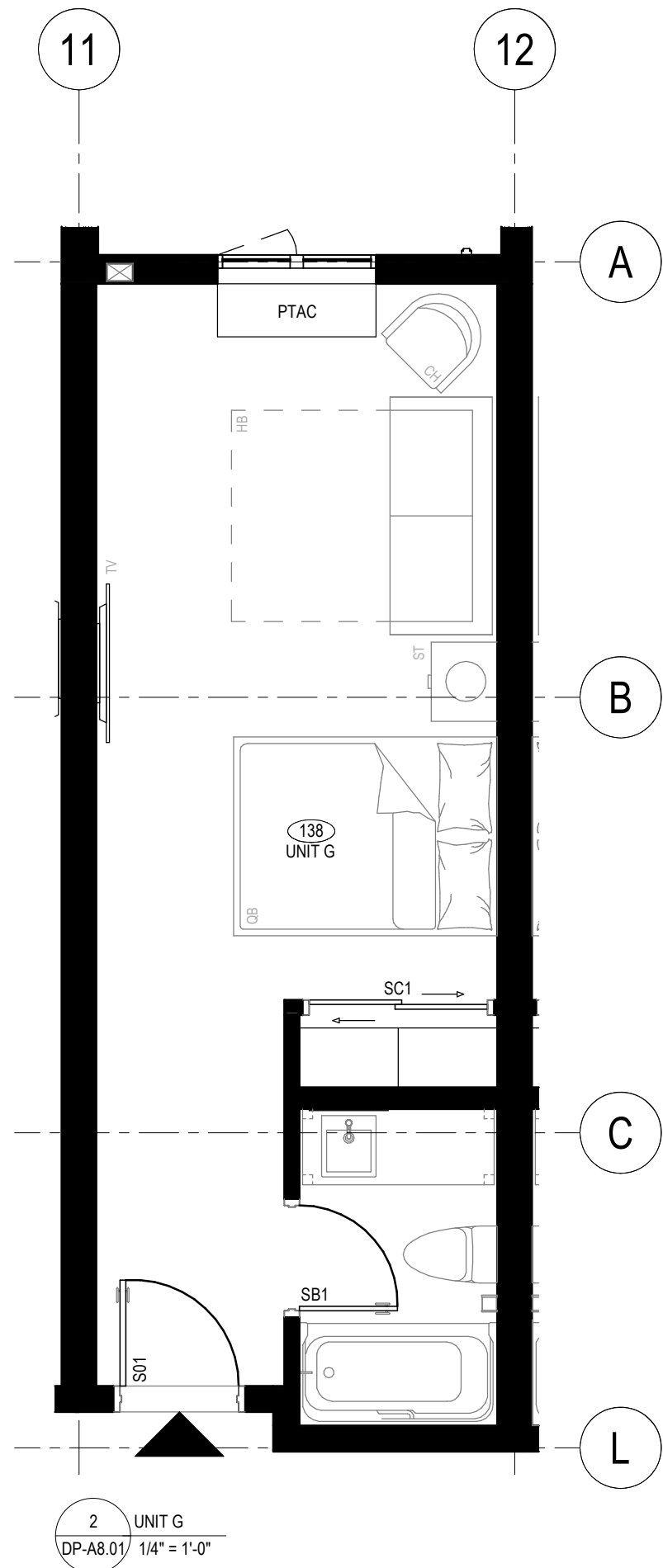
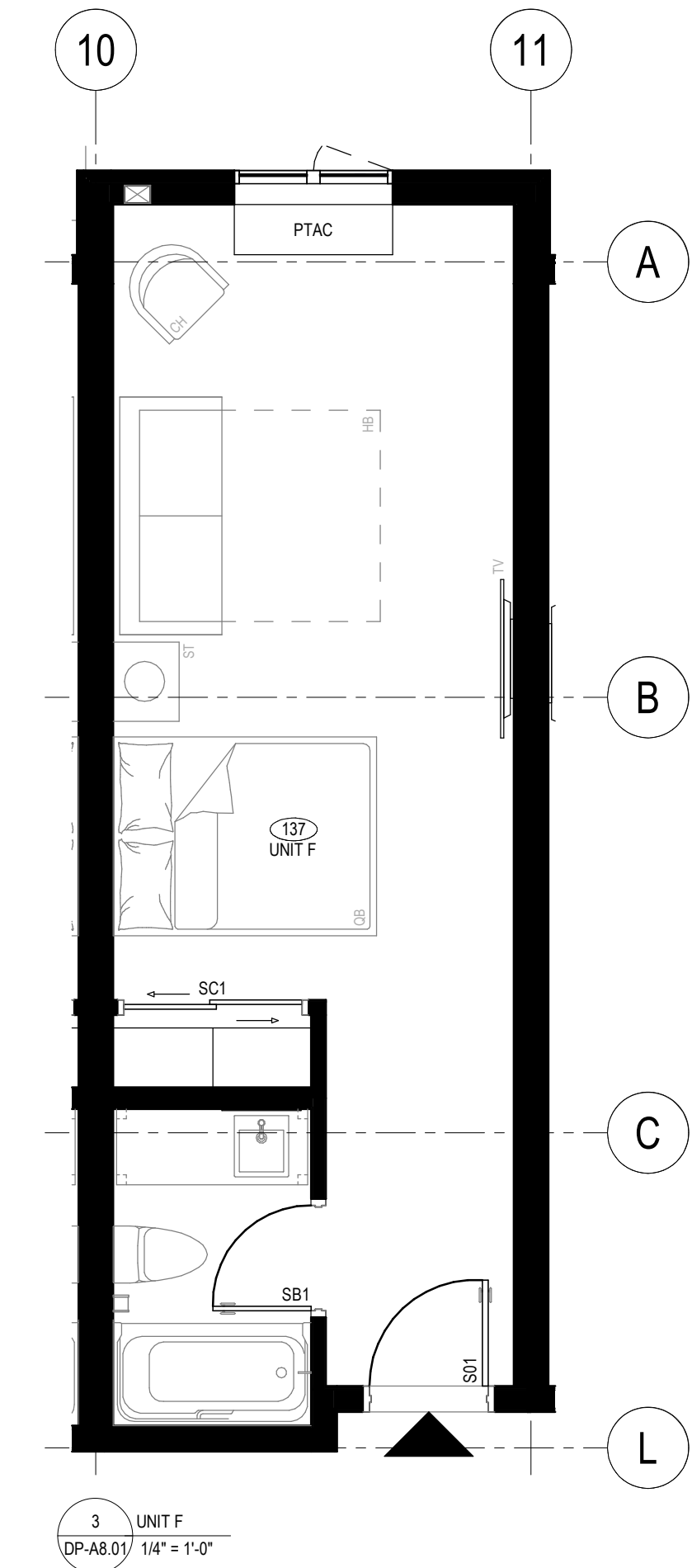
Drawing Number Revision

DP-A8.01

Drawing Title

**ENLARGED UNIT
PLANS**

Job No.	2002
Scale	1/4" = 1'-0"
Drawn	BN
Checked	ST

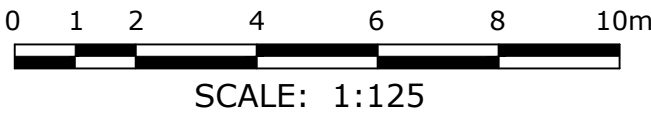
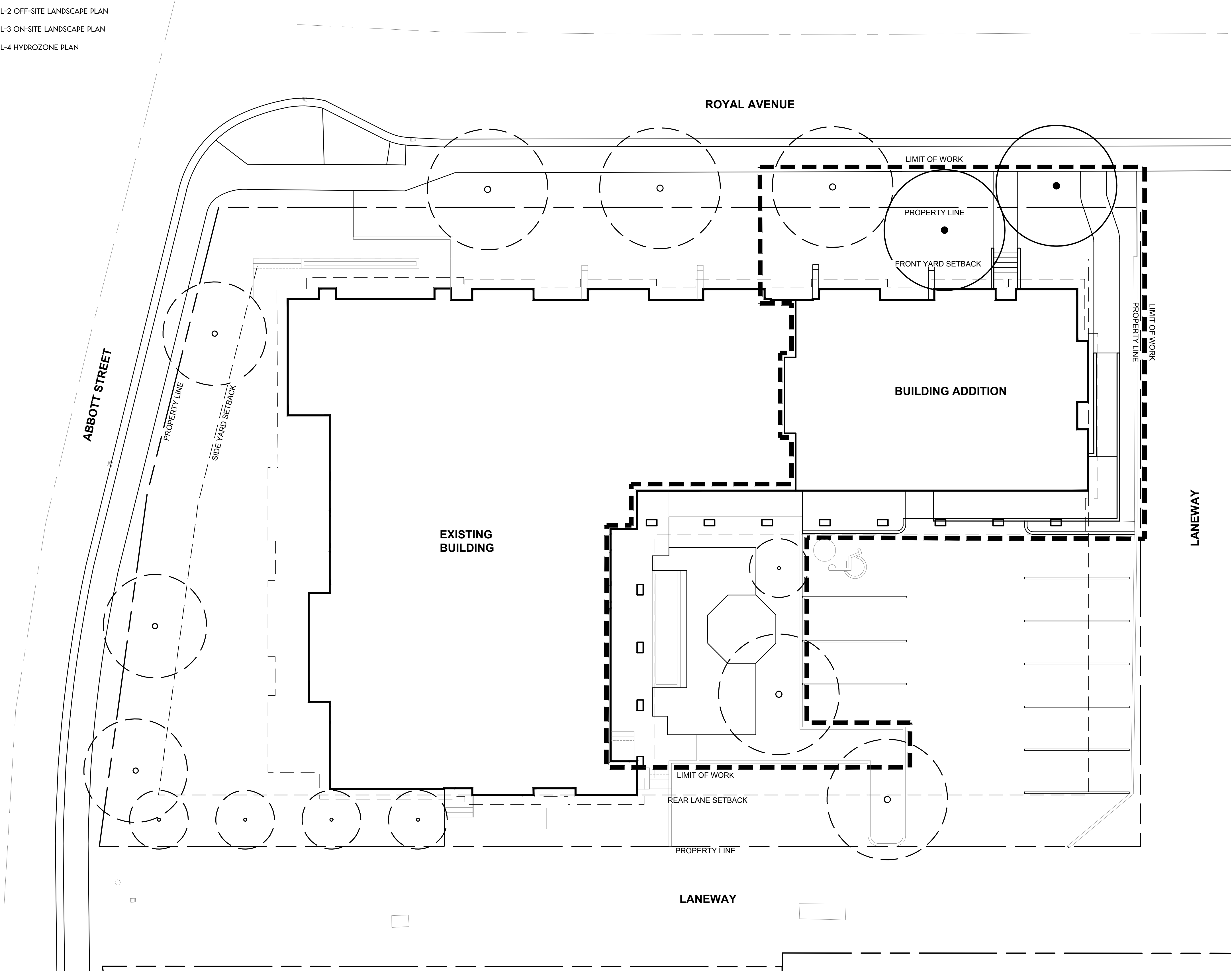


JOEANNA'S HOUSE ADDITION

MUNICIPAL ADDRESS: 321 ROYAL AVENUE
KELOWNA, BC

LANDSCAPE DRAWING LIST:

- L-0 COVER PAGE
- L-1 PRE-DEVELOPMENT PLAN
- L-2 OFF-SITE LANDSCAPE PLAN
- L-3 ON-SITE LANDSCAPE PLAN
- L-4 HYDROZONE PLAN



DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED BY C.N.T.A. AND C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900. THE IRRIGATION SYSTEM FOR THE ADDITION WILL UTILIZE THE EXISTING IRRIGATION SYSTEM. THIS PROCESS WILL BE COMPLETED AS A DESIGN-BUILD EXERCISE BY THE LANDSCAPE CONTRACTOR.

PLANT LIST:

TREES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Fraxinus americana</i> 'Autumn Purple'	Autumn Purple ash	5cm Cal.	B&B
<i>Gleditsia triacanthos</i> 'Skycole'	Skyline honeylocust	4cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#02 Cont./1.5m O.C.	Potted
<i>Buxus</i> 'Green Gem'	Green Gem boxwood	#02 Cont./1.2m O.C.	Potted
<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire dogwood	#02 Cont./1.2m O.C.	Potted
<i>Euonymus alatus</i> 'Select'	Fireball burning bush	#02 Cont./1.5m O.C.	Potted
<i>Juniperus sabina</i> 'Monna'	Calgary carpet juniper	#02 Cont./1.2m O.C.	Potted
<i>Spirea betulifolia</i> 'Tor'	Tor birchleaf spirea	#02 Cont./1.2m O.C.	Potted
PERENNIALS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Alchemilla mollis</i>	Lady's mantle	#01 Cont./0.6m O.C.	Potted
<i>Echinacea purpurea</i> 'Magnus Superior'	Magnus Superior coneflower	#01 Cont./0.75m O.C.	Potted
<i>Geranium sanguinea</i> 'Album'	White bloody cranesbill	#01 Cont./0.75m O.C.	Potted
<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm coneflower	#01 Cont./0.75m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Sesleria autumnalis</i>	Autumn moor grass	#01 Cont./0.6m O.C.	Potted

ZONING BYLAW ANALYSIS:

ZONE INFORMATION	
Municipal Address:	321 Royal Avenue, Kelowna, British Columbia
Zone:	M4 - Transit Oriented Area
Landscape Setback Requirements:	3.0m front, 2.0m sideyard setbacks (N/A rear yard setback)
Total Onsite Landscape Area:	112 sq.m
Total Offsite Landscape Area:	51 sq.m
Bike Parking Requirements:	N/A

LANDSCAPE ZONING ANALYSIS TABLE		
Landscape Standards (7.2)	Zone	Proposed
Min. tree amount	4	1
Min. deciduous tree caliper	Large: 5cm	N/A
	Medium: 4cm	4cm
	Small: 3cm	N/A
Min. coniferous tree height	250cm	N/A
	Large: Min. 50%	0%
	Medium: No min. or max.	100%
Min. ratio between tree size	Small: Max. 25%	0%
	75% of setback area = 84sq.m	(62%) 70sq.m
Min. growing medium area	Large single: 30cum	N/A
Min. growing medium volumes per tree	Large multiple connected by trench or cluster: 25cum	N/A
	Medium single: 20cum	N/A
	Medium multiple connected by trench or cluster: 18cum	18
	Small single: 15cum	N/A
	Small multiple connected by trench or cluster: 12cum	N/A
	Max. 1:3 slope (33%) for lawn areas	Max. 1:3 slope (33%) for lawn areas
	Max. 1:2 slope (50%) for shrub or ground cover areas	Max. 1:2 slope (50%) for shrub or ground cover areas
Landscape graded areas (7.2.7)	Min. 1:50 slope (2%) for cross slope of any landscape areas	Min. 1:50 slope (2%) for cross slope of any landscape areas
	2.0m	N/A
Fence height	N	
Riparian management area	N	
Retention of existing trees	Y	
Surface parking lot (7.2.10)	N	
Refuse & recycle bins screened	N	
Comments:	1. Refer to architectural drawing for note regarding bike parking requirements. 2. The landscape areas do not meet the minimum tree requirements as the design intent focuses on salvaging existing trees, where possible, and mimicking the form and character of the existing frontage. The sideyard setback prioritizes accessibility by including a ramp, reducing the landscape frontage to a size that is too narrow for tree growth. 3. To avoid conflict between the building and the tree canopy, large trees of 15m+ spread are not suitable for the landscape area within the limit of work.	

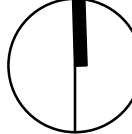
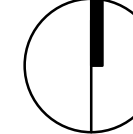
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mat@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects DO NOT SCALE DRAWINGS

MEIKLEJOHN ARCHITECTS INC.

PROGRESS SET
2025-03-07

PROJECT NORTH		TRUE NORTH	
			
Issued			
No.	Date	Issued for	
01	25-03-07	ISSUED FOR COORDINATION	
02	25-03-19	ISSUED FOR DP	
Revision			
No.	Date	Revision	

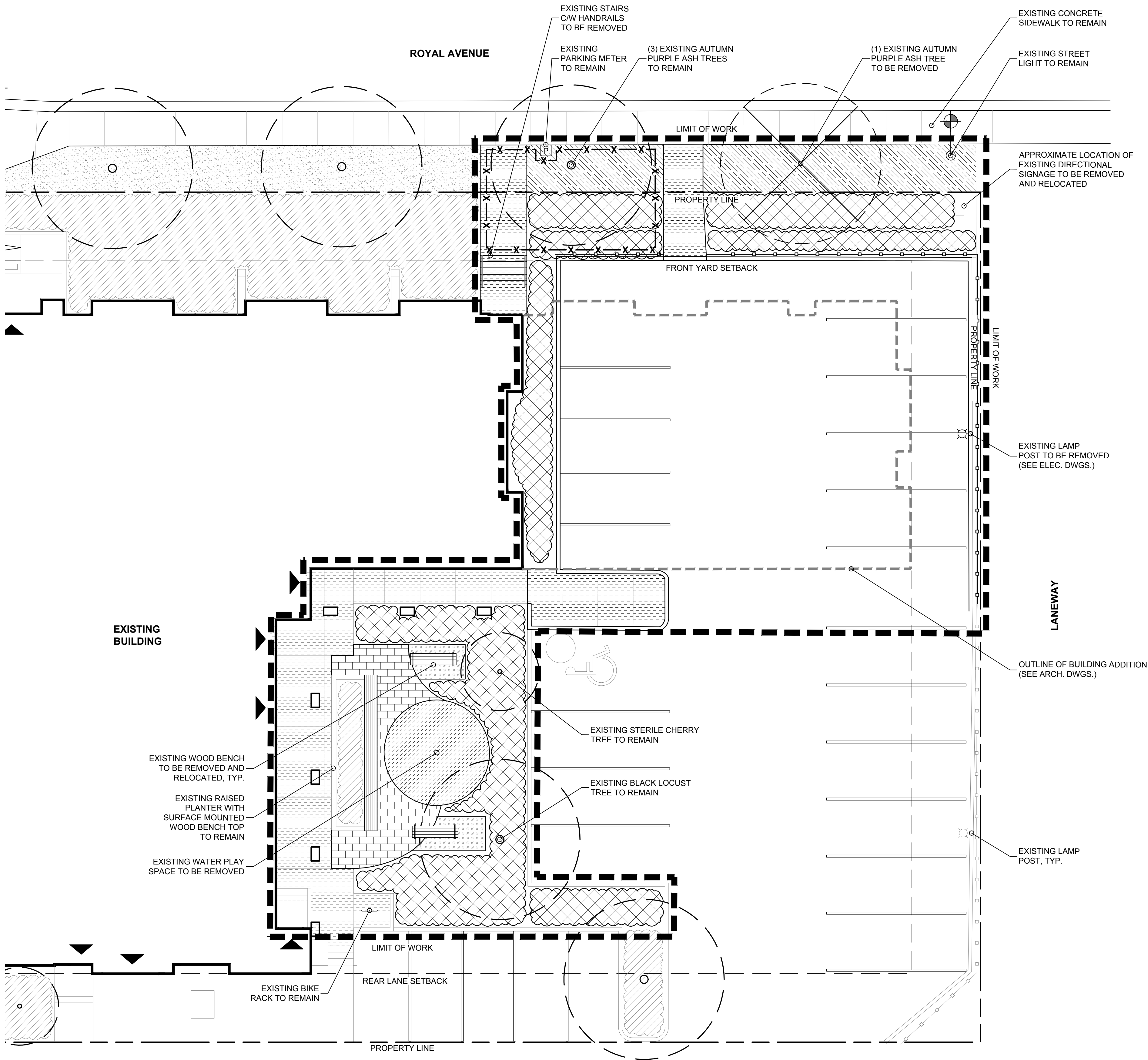
Project Title
JOEANNA'S HOUSE
ADDITION

Drawing Number Revision

L-0
Drawing Title
COVER
PAGE

Job No.	25-001
Scale	1:125
Drawn	KL
Checked	LH

NOT FOR CONSTRUCTION



LEGEND:

EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED

BUILDING ENTRY / EXIT

EXISTING CONCRETE TO BE REMOVED

EXISTING CONCRETE TO REMAIN

EXISTING PAVERS TO BE REMOVED

EXISTING RUBBERIZED SURFACING TO BE REMOVED

EXISTING GRANULAR TO BE REMOVED

EXISTING LAWN TO BE REMOVED

EXISTING VEGETATION TO CLEAR & GRUB

EXISTING VEGETATION TO REMAIN

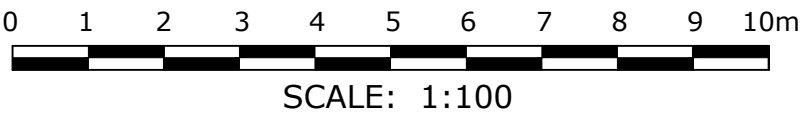
TREE PROTECTION FENCING

EXISTING POST AND RAIL FENCE TO REMAIN

EXISTING POST AND RAIL FENCE TO BE REMOVED

PRE-DEVELOPMENT TREE INVENTORY NOTES:

A OVERALL ALL EXISTING TREES TO REMAIN ARE OF EXCELLENT VIGOR AND VITALITY.



NOT FOR CONSTRUCTION

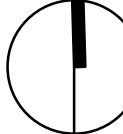
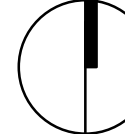
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS

MEIKLEJOHN ARCHITECTS INC.

PROGRESS SET
2025-03-07

PROJECT NORTH		TRUE NORTH	
			
Issued		Issued For	
No.	Date		
01	25-03-07	ISSUED FOR COORDINATION	
02	25-03-19	ISSUED FOR DP	
Revision			
No.	Date	Revision	

Project Title

Project Title

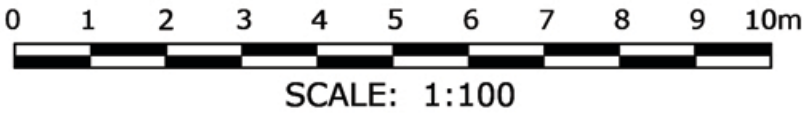
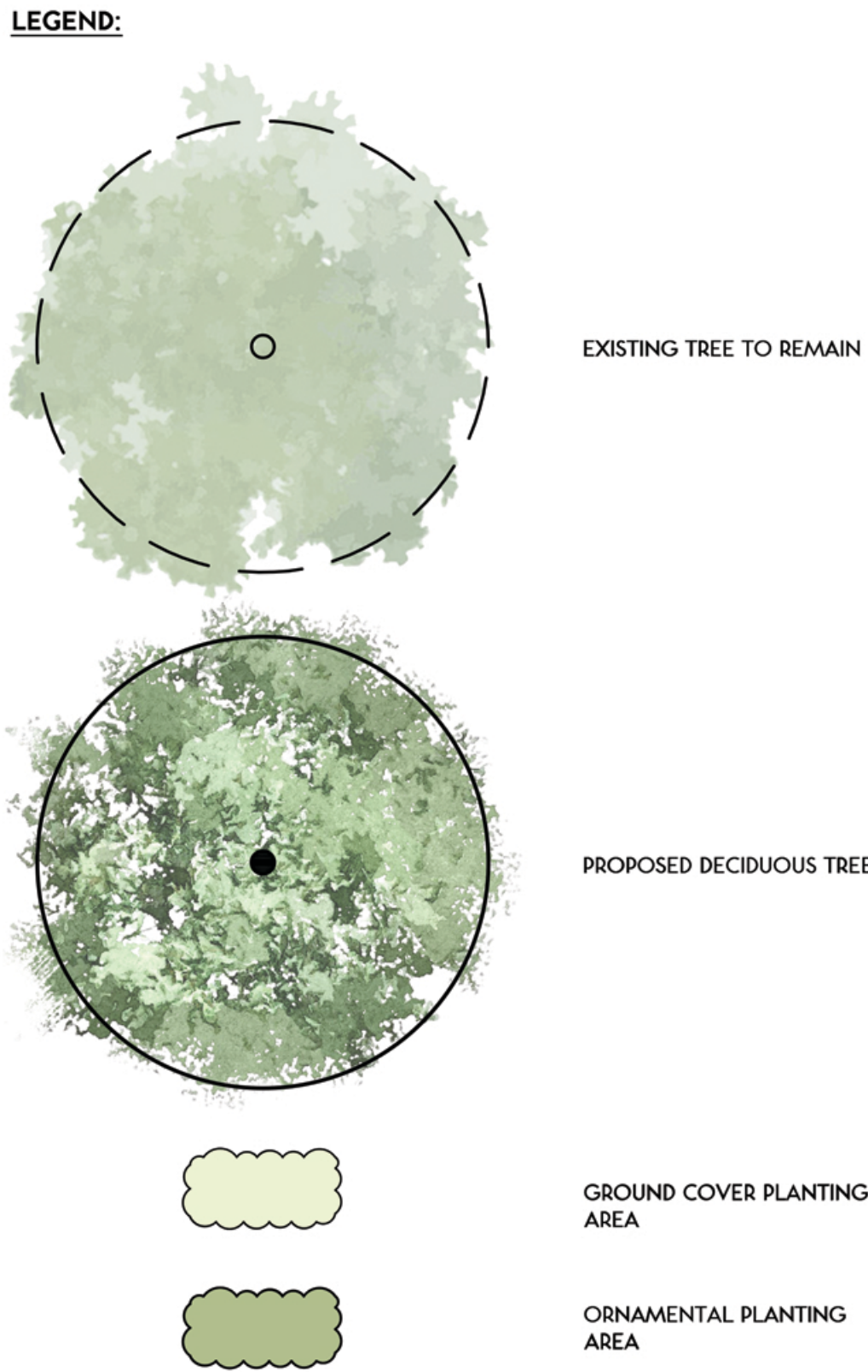
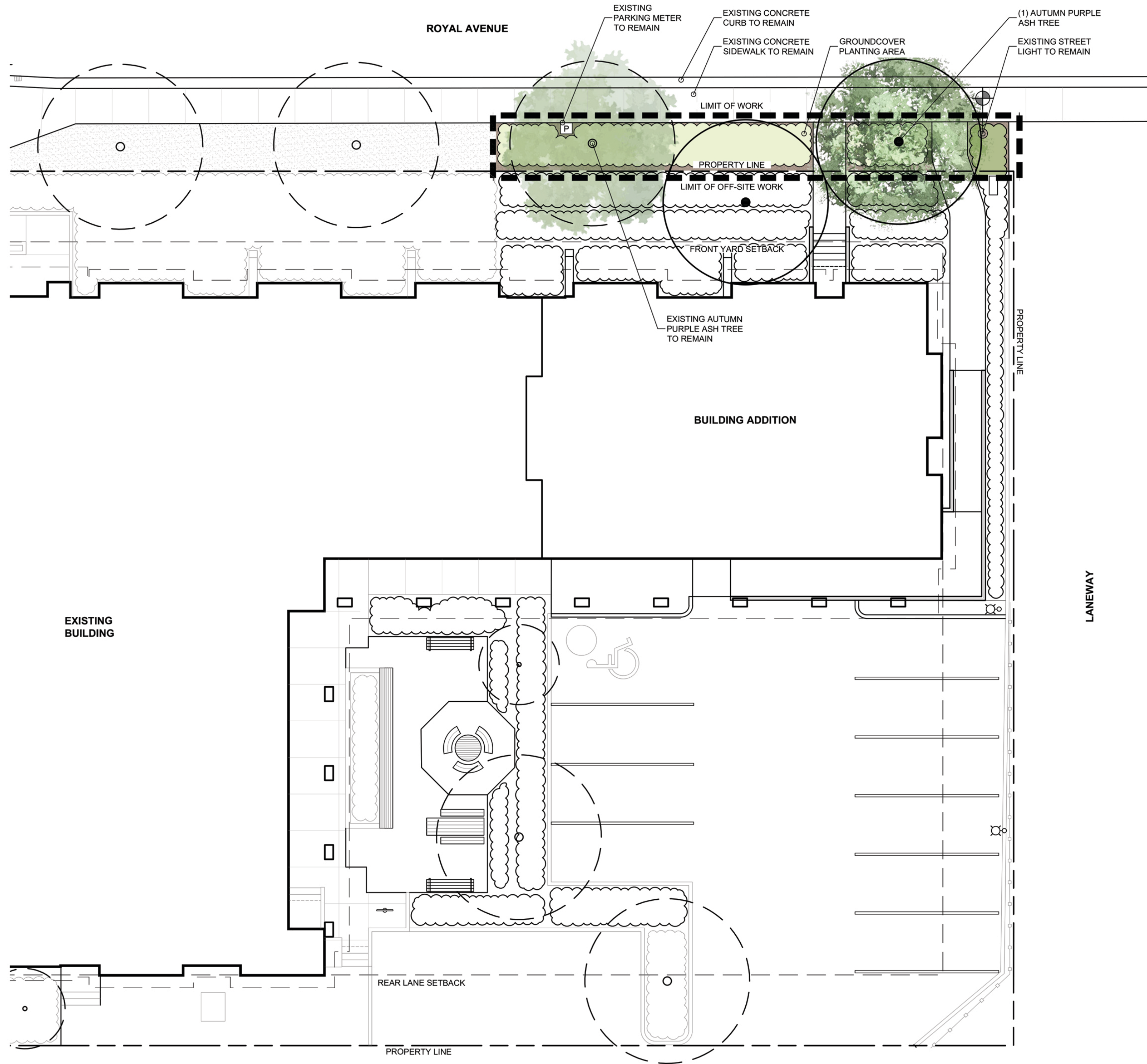
JOEANNA'S HOUSE
ADDITION

Drawing Number Revision

L-1

Drawing Title
PRE-DEVELOPMENT
PLAN

Job No.	25-001
Scale	1:100
Drawn	KL
Checked	LH



NOT FOR CONSTRUCTION

233 BERNARD AVENUE
 KELOWNA, B.C.
 V1Y 6N2
 TEL: 250.762.3004
 FAX: 250.762.8707
 EMAIL: kel-mai@shaw.ca

COPYRIGHT RESERVED
 This plan and design is and at all times remains the exclusive property of Metkelejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
 The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Metkelejohn Architects DO NOT SCALE DRAWINGS

METKELEJOHN ARCHITECTS INC.

JoeAnna's House

PROGRESS SET
 2025-03-07

PROJECT NORTH

TRUE NORTH

Issued		
No.	Date	Issued For
01	25-03-07	ISSUED FOR COORDINATION
02	25-03-19	ISSUED FOR DP

Revision		
No.	Date	Revision

Project Title

JOEANNA'S HOUSE ADDITION

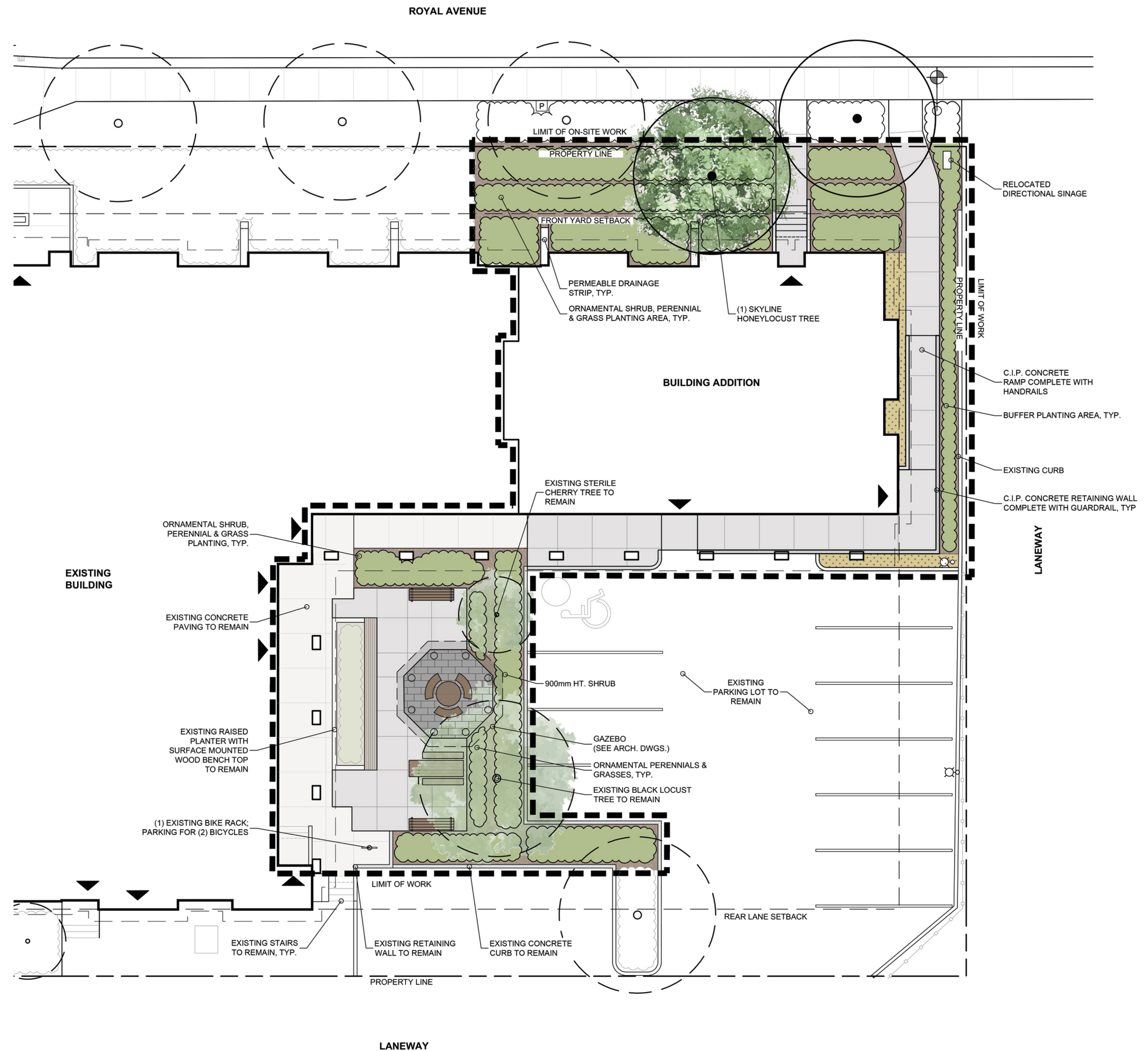
Drawing Number

L-2

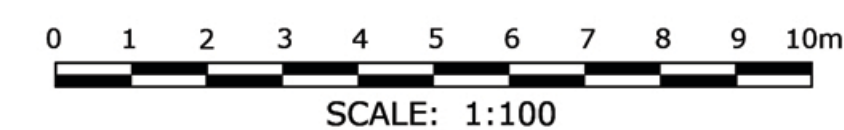
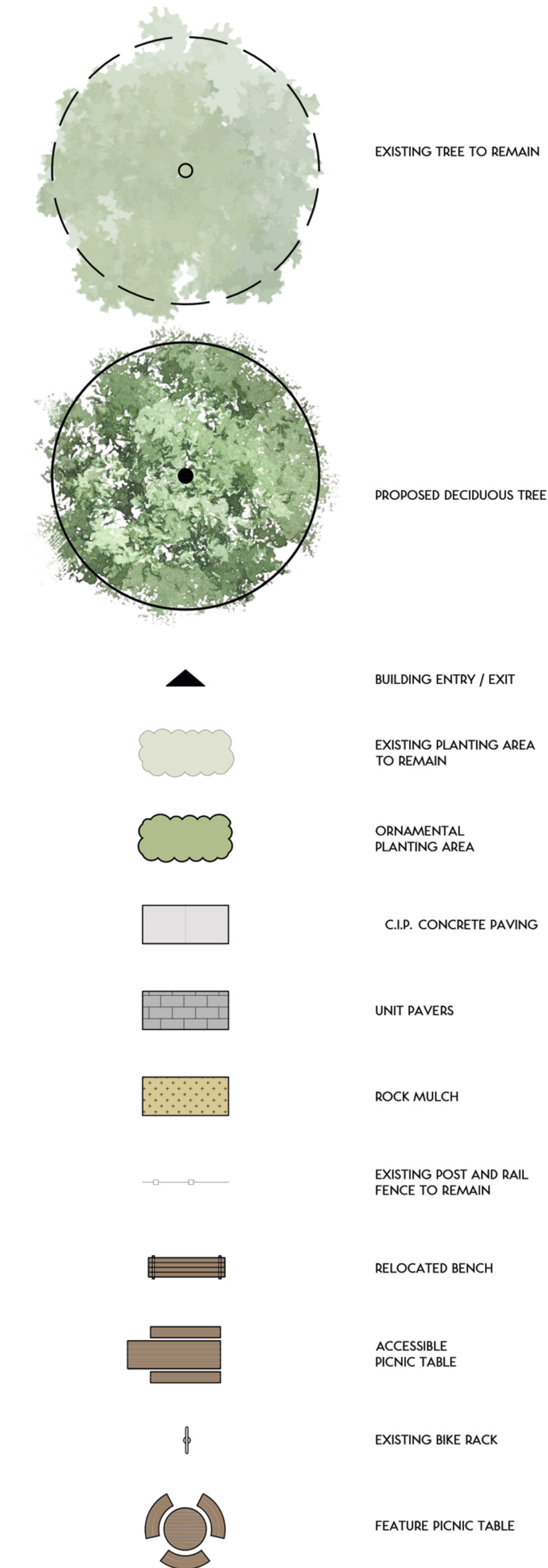
Drawing Title

OFF-SITE LANDSCAPE PLAN

Job No.	25-001
Scale	1:100
Drawn	KL
Checked	LH



LEGEND:



NOT FOR CONSTRUCTION

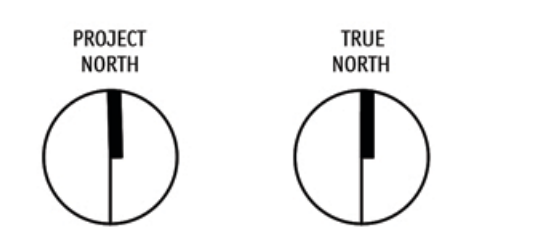
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Melkejohn Architects Inc. and may not be used without the Architect's consent.

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Melkejohn Architects DO NOT SCALE DRAWINGS



PROGRESS SET
2025-03-07



Issued		Issued For	
No.	Date		
01	25-03-07	ISSUED FOR COORDINATION	
02	25-03-19	ISSUED FOR DP	

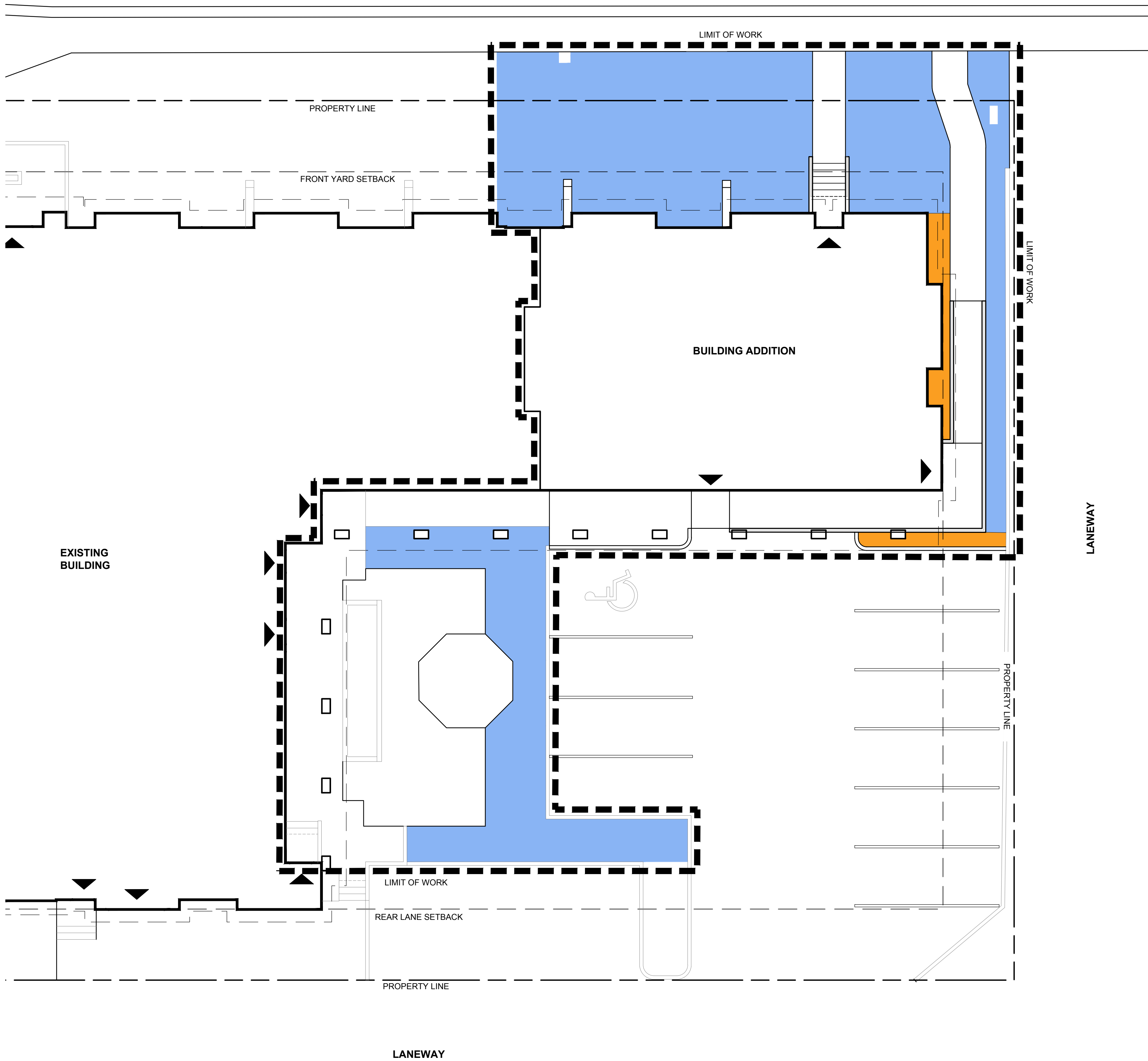
Revision		
No.	Date	Revision

Project Title
**JOEANNA'S HOUSE
ADDITION**

Drawing Number
L-3

Drawing Title
**ON-SITE
LANDSCAPE PLAN**

Job No.	25-001
Scale	1:100
Drawn	KL
Checked	LH

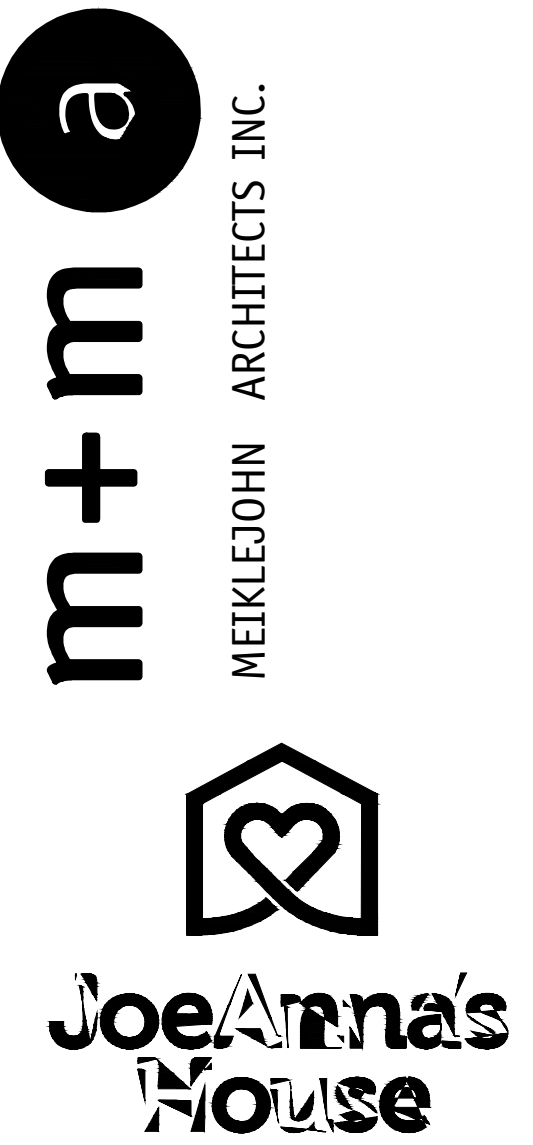


- LEGEND:**
- MODERATE WATER USE
(GROUND COVER & PLANTING AREA)
 - NO WATER USE
(DECORATIVE ROCK MULCH)

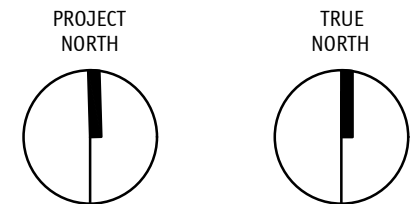
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca

COPYRIGHT RESERVED
This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architect's consent

DIMENSIONS
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Meiklejohn Architects
DO NOT SCALE DRAWINGS



PROGRESS SET
2025-03-07



Issued		Issued For
No.	Date	
01	25-03-07	ISSUED FOR COORDINATION
02	25-03-19	ISSUED FOR DP

Revision		
No.	Date	Revision

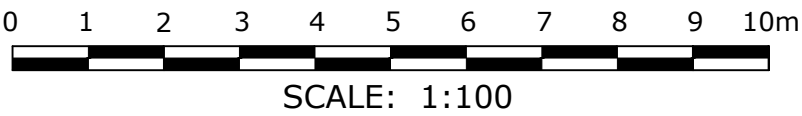
Project Title
**JOEANNA'S HOUSE
ADDITION**

Drawing Number Revision

L-4

Drawing Title
**HYDROZONE
PLAN**

Job No.	25-001
Scale	1:100
Drawn	KL
Checked	LH



NOT FOR CONSTRUCTION